

Annwyl Gyngorydd,

PWYLLGOR CYNLLUNIO - DYDD IAU, 6ED EBRILL, 2017

Gweler yn amgaaedig, yr atodiadau a cynlluniau ar gyfer y cyfarfod uchod.

Rhif ar yr Agenda	Eitem
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- | | |
|----|--|
| 3. | <u>RHANBARTH Y DWYRAIN - PENDERFYNU AR GEISIADAU CYNLLUNIO</u>
(Tudalennau 5 - 60) |
| 4. | <u>RHANBARTH Y DE - PENDERFYNU AR GEISIADAU CYNLLUNIO</u> (Tudalennau 61 - 84) |
| 5. | <u>RHANBARTH Y GORLLEWIN - PENDERFYNU AR GEISIADAU CYNLLUNIO</u>
(Tudalennau 85 - 188) |

Yn gywir,

Mark James DYB

Prif Weithredwr

Amg.

Mae'r dudalen hon yn wag yn fwriadol

*Ardal
Dwyrain/
Area East*

**ADRODDIAD PENNAETH
CYNLLUNIO,
CYFARWYDDIAETH YR AMGYLCHEDD**

**REPORT OF THE
HEAD OF PLANNING,
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN/**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 06 EBRILL 2017
ON 06 APRIL 2017**

**I'W BENDERFYNU/
FOR DECISION**

**ATODIAD
ADDENDUM**



ADDENDUM – Area East

<i>Application Number</i>	E/33695
<i>Proposal & Location</i>	FULL PLANNING FOR THE ERECTION OF A POULTRY UNIT ON FARM TO ACCOMMODATE FREE RANGE CHICKENS (EGG PRODUCTION) TOGETHER WITH ASSOCIATED FEED BINS, INTERNAL FARM ACCESS AND ASSOCIATED WORKS AT GODRE GARREG, LLANGADOG, SA19 9DA

DETAILS:

The Local Planning Authority received amended section plans on Monday 3 April 2017 which indicate that the proposed poultry unit is now to include ventilation chimneys (the majority of which are some 1.8 metres above the plane and 1.0 metre in diameter) on the building's roof, followed by elevational plans on Tuesday 4 April 2017 which showed that a total of 24 ventilation chimneys are to be added to the roof.

The aforementioned changes to the proposed poultry unit require thorough evaluation both in terms of the visual impact of the revised proposal and of the potential for noise and odours to emanate from the new chimneys. The latter shall necessitate consultation with the Head of Public Protection. As visual impact, noise and odour are concerns have been raised by objectors, the change is considered to be of a degree that also merits a new public notification exercise that shall include a site notice and letters duly informing the local community council and local member.

It is therefore now **recommended that the determination of the application is deferred** until the consultation and notification referred to has been undertaken.

ADDENDUM – Area East

<i>Application Number</i>	E/34849
<i>Proposal & Location</i>	ONE RESIDENTIAL DWELLING (LOCAL NEEDS) AT LAND OPPOSITE, TEGFAN, TALLEY, LLANDEILO, SA19 7YL

DETAILS:

Public Rights of Way Officer – Footpath 64/43 abuts the proposed development site. If the application is approved, reference should be made to the applicant/developer of the existence of the footpath and to the requirement not to obstruct or encroach upon it at any time. If the development affects the Public Right of Way it is recommended that the applicant contacts the Public Rights of Way department.

ADDENDUM – Area East

<i>Application Number</i>	E/35109
<i>Proposal & Location</i>	CHANGE OF USE FROM CLASS A1 (RETAIL) TO CLASS A3 (FOOD AND DRINK) - INCLUDING ANCILLARY SEATING AND THE INSTALLATION OF EXTRACTION AND VENTILATION EQUIPMENT AT 9 CROSS INN BUILDINGS, COLLEGE STREET, AMMANFORD, SA18 3AL

DETAILS:

Welsh Government Transport – Has considered the application in further detail and made further comments. They offer no objection to the proposal.

Amended plans have been received showing the location of 6 car parking spaces stated in the application. The amended plans are included in the PowerPoint presentation.

***Y PWYLLGOR
CYNLLUNIO
06 EBRILL 2017
RHANBARTH Y
DWYRAIN***

**PLANNING
COMMITTEE**

06 APRIL 2017

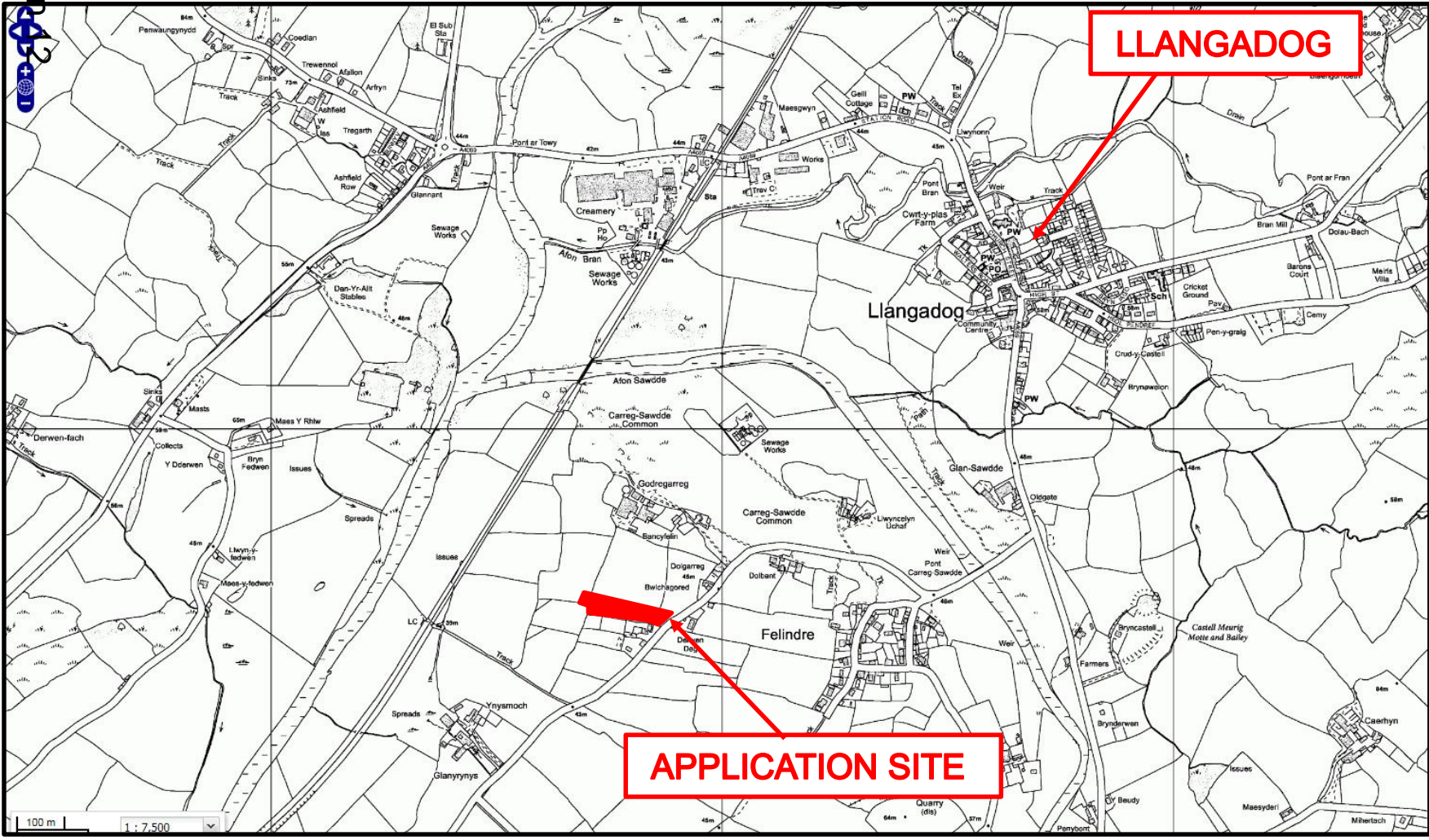
**AREA
EAST**

CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO

APPLICATIONS RECOMMENDED FOR APPROVAL

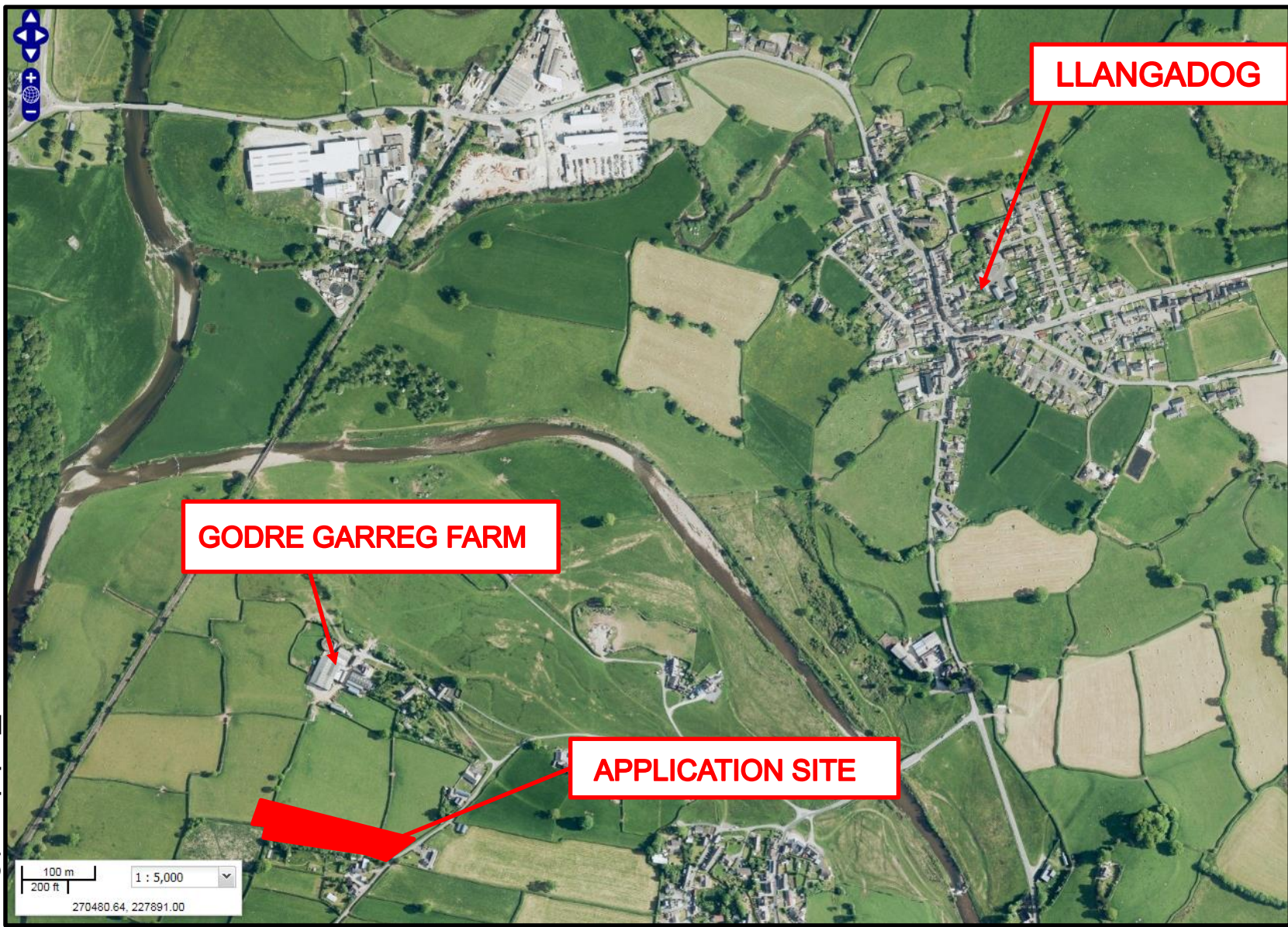
E/33695

Tudalen 11



E/33695

AERIAL SITE PLAN

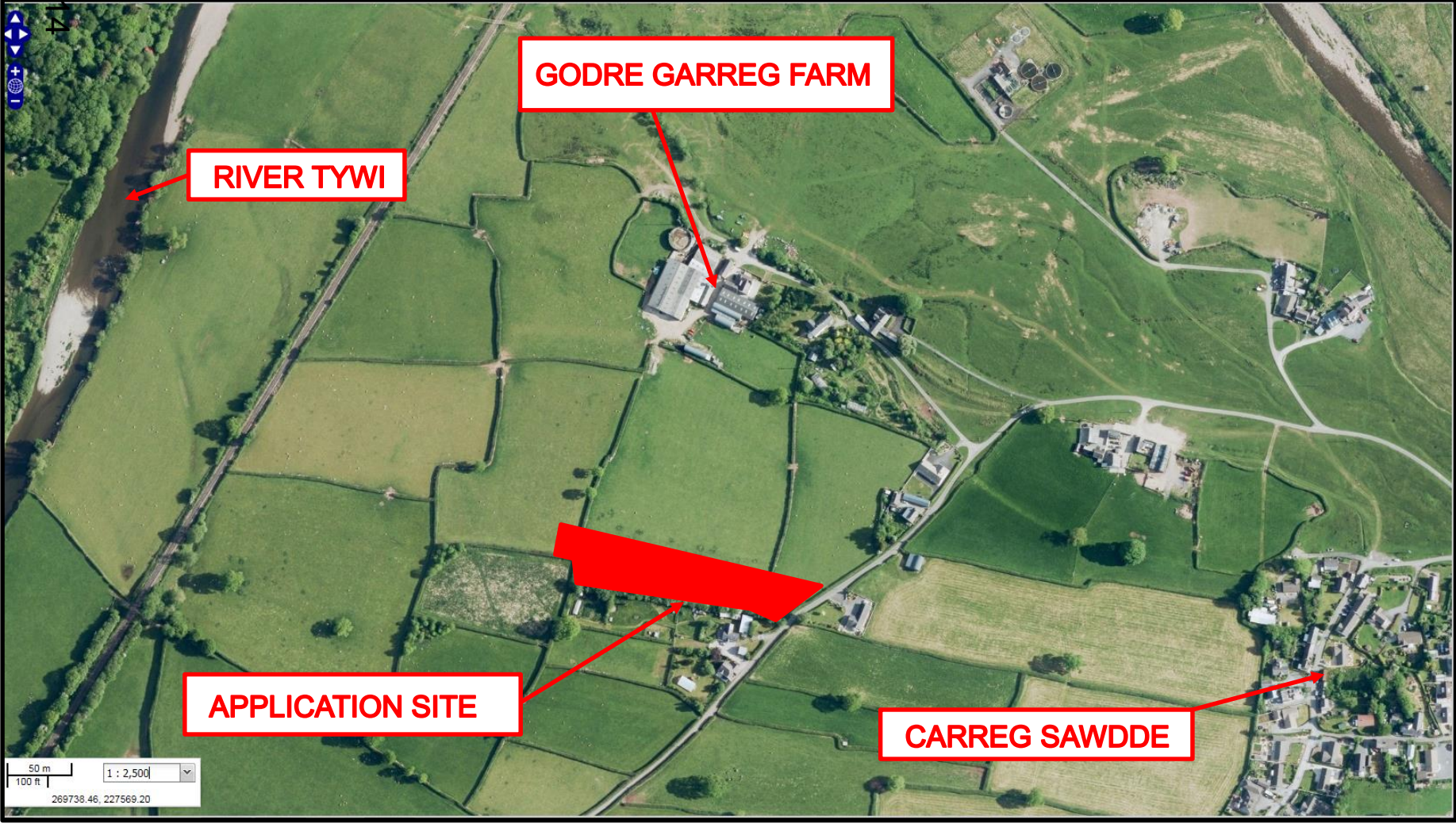


Tudalen 13

E/33695

AERIAL SITE PLAN

Tudalen
174



GODRE GARREG FARM

RIVER TYWI

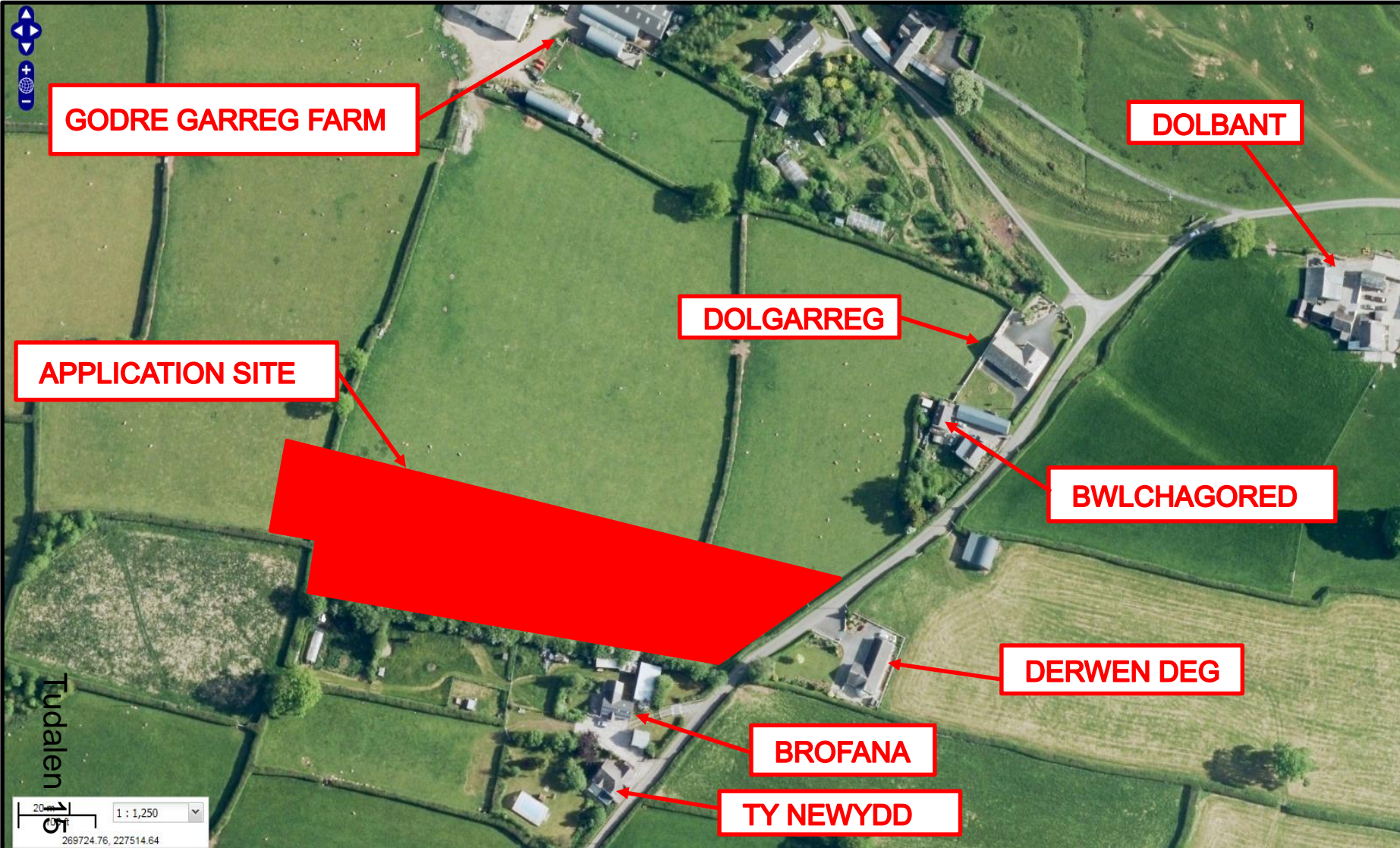
APPLICATION SITE

CARREG SAWDDE

50 m
100 ft
1 : 2,500
269738.46, 227569.20

E/33695

AERIAL SITE PLAN



GODRE GARREG FARM

DOLBANT

DOLGARREG

APPLICATION SITE

BWLCHAGORED

DERWEN DEG

BROFANA

TY NEWYDD

Tudalen 15

20 10 0 10 20
1 : 1,250
269724.76, 227514.64

Tudalen 16



PART 1
 Amongst woodland planting a grass seeding is to be laid, being a mix of wildflower and rough grazing.
ALL TREES TO BE PLANTED AT 2M CENTRE SPACING
 SUPPLIER MIX LOCATION SOWING RATE
 Boston Seeds ELS3 Part 2 of plan amongst woodland planting 20kg/ha
 Boston Seeds ELS1 As above 20 kg/ha

Woodland planting to be staggered to prevent straight line arrangement
PERCENTAGE SPECIES FORM HEIGHT SPECIES GROUPS
 10% Betula pubescens/ Downy Birch BK Transplant [1+1] 80-100cm 3-5
 20% Pinus sylvestris/ Scots pine BK Transplant [1+1] 80-100cm 3-5
 5% Prunus padus/ Birch Cherry BK Feathered [2a] 125-150cm 3-5
 35% Quercus robur/ Pedunculate oak BK Feathered [2a] 125-150cm 5-7
 10% Tilia cordata/ Small leaved lime BK Whip [1+2] 100-125 3-5
UNDERSTOREY/EDGE SPECIES
 10% Corylus avellana/ Hazel BK Transplant [1-1] 40-60 5-7
 5% Crataegus monogyna/Hawthorn BK Transplant [1+1] 40-60 5-7
 5% Ilex aefolium/Holly GG [L] 30-40 3-5

PART 2
INDIVIDUAL NATIVE TREES [Circle within brown area]
 SPECIES DESCRIPTION HEIGHT/GIRTH
 Quercus robur [Pedunculate Oak] Standard 2500-3000mm/8-10 cm

PART 3

SPECIES	PERCENTAGE	SIZE	SPACING	GROUPING
CRATAEGUS MONOGYNA [HAWTHORN]	50%	400-600MM/L	5/LIN M	100% IN ROW 1
CORYLUS AVELLANA/HAZEL	30%	400-600MM/L	5/LIN M	50% IN ROW 2
ILLEX AQUIFOLIUM [HOLLY]	20%	400-600MM/L	5/LIN M	50% IN ROW 2

PLANTING SPECIFICATION
TOPSOIL: All planting is to take place in the existing agricultural soils on site
PLANTING AND PLANTS: All planting at Godregrareg and plans shall comply with the requirements of all current/relevant BS including BS 9336 and BS 4428. All planting to be carried out within the recognised planting season being November to March. All to be British Grown stock and fully hardened off. All native species to be of local origin.
ROOT DIP: Proprietary root dip to be applied to all bare rooted stock at the time of lifting at the nursery and prior to planting
WATERING: Thoroughly water in all new plants immediately after planting.

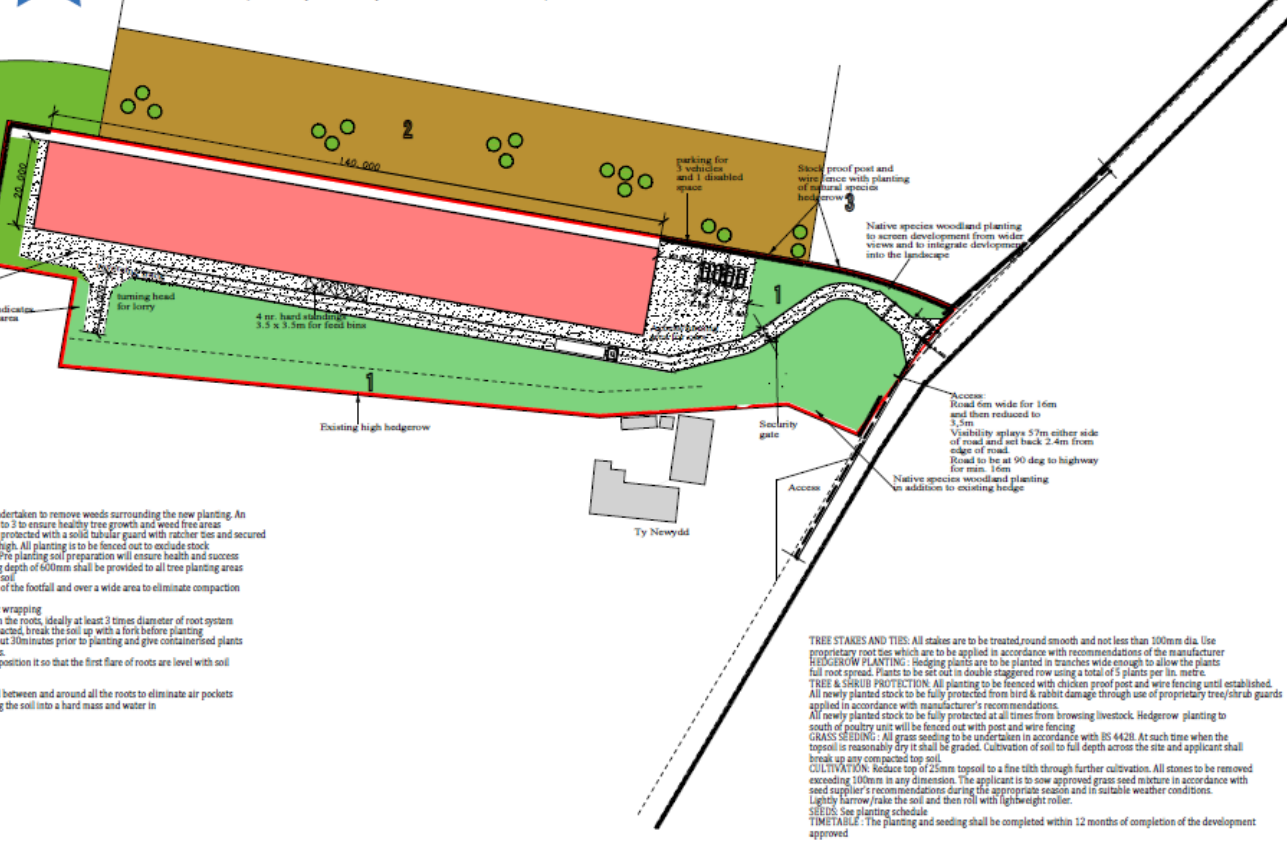
PLANTING MANAGEMENT
 1. Any plants which are affected by frost heave shall be replaced. Protective fencing and stakes with ties and guards are to be on a regular basis over a number of visits to the site over the first 5 years following planting. Any damaged are to be repaired or replaced as necessary. Further maintenance will include watering, pest and disease control.
 2. Any tree losses to be replaced annually in years 1 to 5 in accordance with the original planting schedule and specification.
 3. Regular visits to trees and hedge row to ensure the newly planted stock is in good tree condition.

NOTES:
 All dimensions must be checked on site and not based from this drawing.

Native species woodland planting to screen development from wider views and to integrate development into the landscape

PLANT NATIVE SPECIES HEDGEROW
 Hatching indicates tarmac finish
 Green indicates grassed areas

WEED CONTROL: Hand weeding will be undertaken to remove weeds surrounding the new planting. An approved herbicide will be used in years 1 to 3 to ensure healthy tree growth and weed free areas
PROTECTION OF PLANTS: All trees will be protected with a solid tubular guard with ratchet ties and secured to a wooden stake. Guards will be 750mm high. All planting is to be fenced out to exclude stock
GROUND PREPARATION AND PLANTING: Pre planting soil preparation will ensure health and success of the planting scheme. A minimum rooting depth of 600mm shall be provided to all tree planting areas including a minimum depth of 400mm top soil.
 1. Loosen soil to a depth equivalent to height of the footfall and over a wide area to eliminate compaction and IMPROVE DRAINAGE.
 2. Remove plants from containers or fabric wrapping
 3. Dig a planting hole that is no deeper than the roots, ideally at least 3 times diameter of root system
 4. If the sides of the planting hole are compacted, break the soil up with a fork before planting
 5. Soak bare rooted trees or shrubs for about 30 minutes prior to planting and give containerised plants a good watering before removing from pots.
 6. Place tree or shrub in planting hole and position it so that the first flare of roots are level with soil surface when planting is complete
 7. Insert a stake to support the tree
 8. Refill planting hole carefully, placing soil between and around all the roots to eliminate air pockets
 9. Firm the soil gently, avoiding compacting the soil into a hard mass and water in
 10. Protect with solid tubular guard



TREE STAKES AND TIES: All stakes are to be treated round smooth and not less than 100mm dia. Use proprietary root ties which are to be applied in accordance with recommendations of the manufacturer
HEDGEROW PLANTING: Hedging plants are to be planted in tranches wide enough to allow the plants full root spread. Plants to be set out in double staggered row using a total of 5 plants per lin. metre
TREE & SHRUB PROTECTION: All planting to be fenced with chicken proof post and wire fencing until established. All newly planted stock to be fully protected from bird & rabbit damage through use of proprietary tree/shrub guards
 All newly planted stock to be fully protected at all times from browsing livestock. Hedgerow planting to south of poultry units will be fenced out with post and wire fencing
GRASS SEEDING: All grass seeding to be undertaken in accordance with BS 4428. At such time when the topsoil is reasonably dry it shall be graded. Cultivation of soil to full depth across the site and applicant shall break up any compacted top soil
CULTIVATION: Reduce top of 20mm topsoil to a fine tilth through further cultivation. All stones to be removed exceeding 100mm in any dimension. The applicant is to sow approved grass seed mixture in accordance with seed supplier's recommendations during the appropriate season and in suitable weather conditions. Lightly harrow/rake the soil and then roll with lightweight roller.
SHEDS: See planting schedule
TIMETABLE: The planting and seeding shall be completed within 12 months of completion of the development approved

Date	Revisions

Client:
MARTIN WATTS ARCHITECTURAL ASSOCIATES LTD
CYSWLLT PENSAERNIOL CTF.
 Mawryce, Llanwrda SA198HD
 T. 01550 777 591
 M. 07854 149 915
 martin@watts712.freeserve.co.uk
 www.mfwattsarchitectural.co.uk

Client:
T.V. HUGHES AND CO.

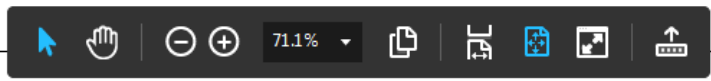
Job Title:
STEEL FRAMED SHED ON LAND AT
GOORE GARREG, LLANGADOG FOR
CEICKEN/EGG PRODUCTION

Drawing Title:
LANDSCAPE GOOREGARREG

Scale: **1:1000**

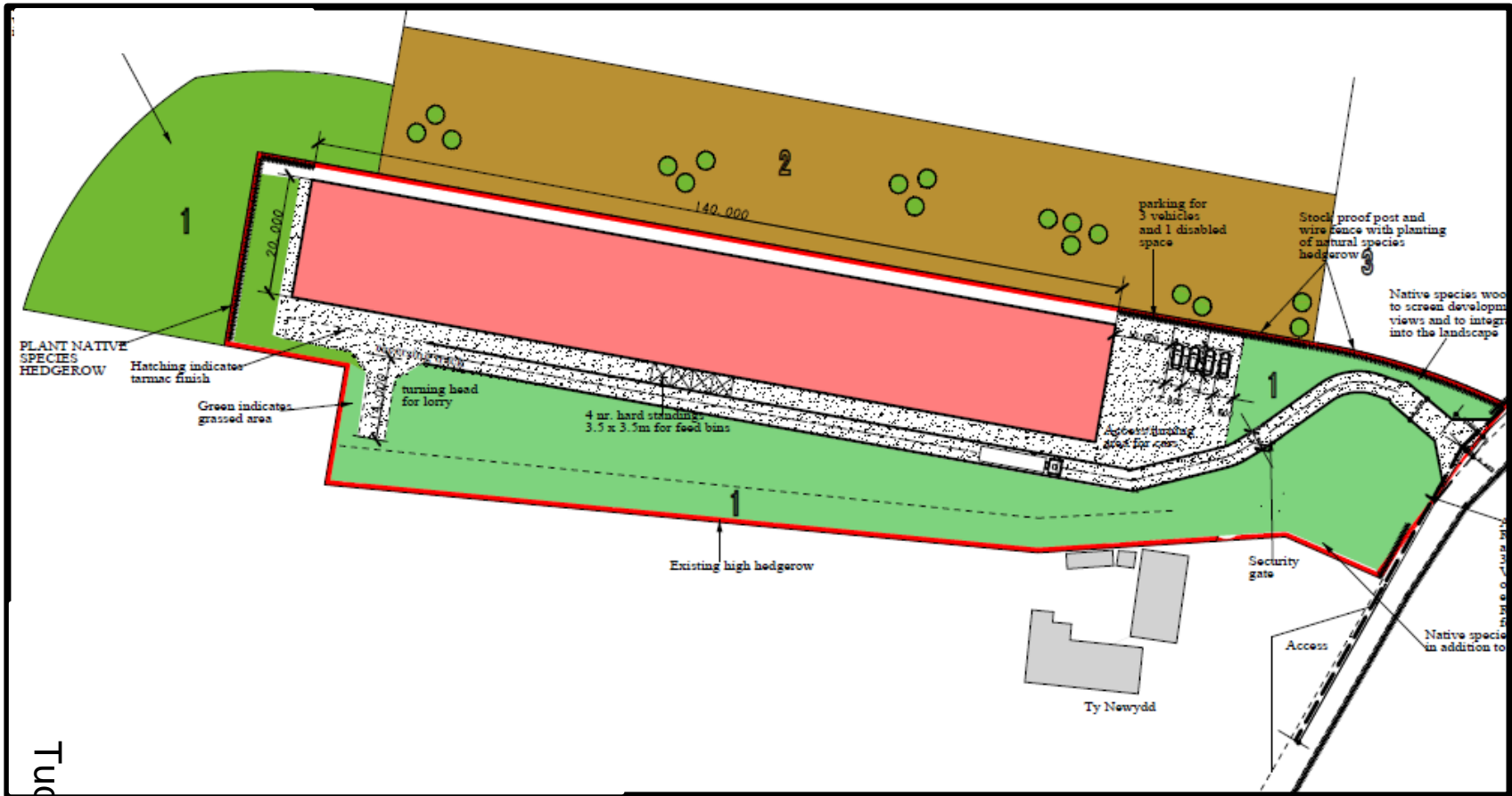
Date: **05/04/2016** Drawn by:

Proj No: **04** Rev: **-**



E/33695

SITE AND LANDSCAPE PLAN



Tudalen 17

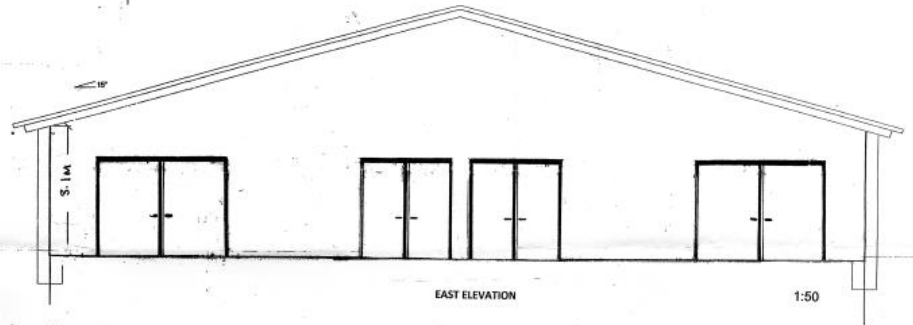
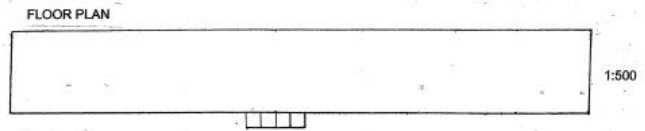
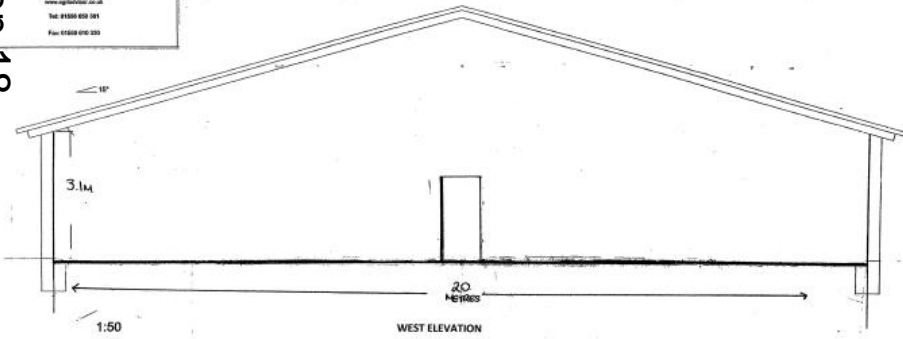
E/33695 ELEVATION AND FLOOR PLANS

Tudalen 18

Project: Llanwrda, Carmarthenshire Gwent, SA19 9DA
 www.agriadvisor.co.uk
 Tel: 01453 633 341
 Fax: 01453 633 335

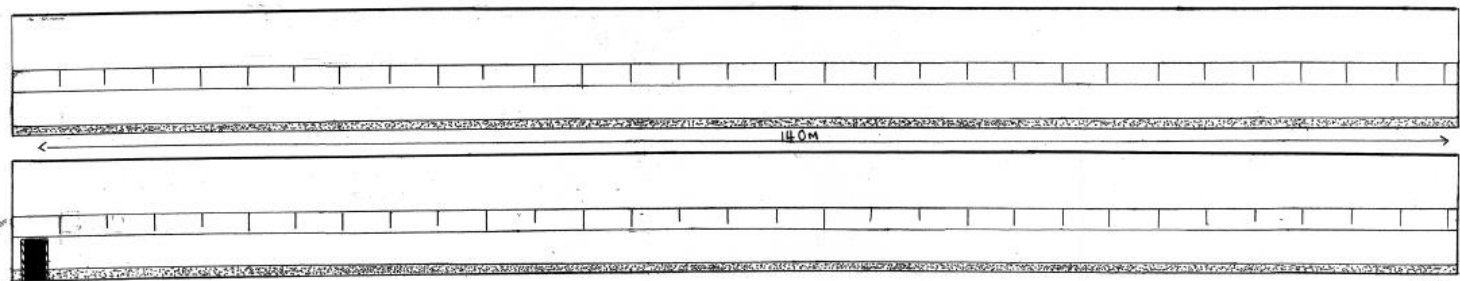
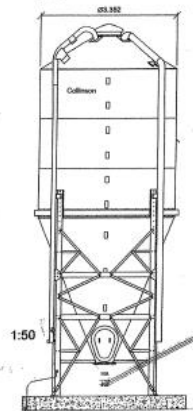


CLIENT	TV HUGHES & CO
TITLE	GODRE GARREG 03
LOCATION	Godre Garreg, Llangadog, Carmarthenshire, SA19 9DA
SCALE	AS PER EACH DRAWING
AUTHOR	GEL
DATE	September 2015

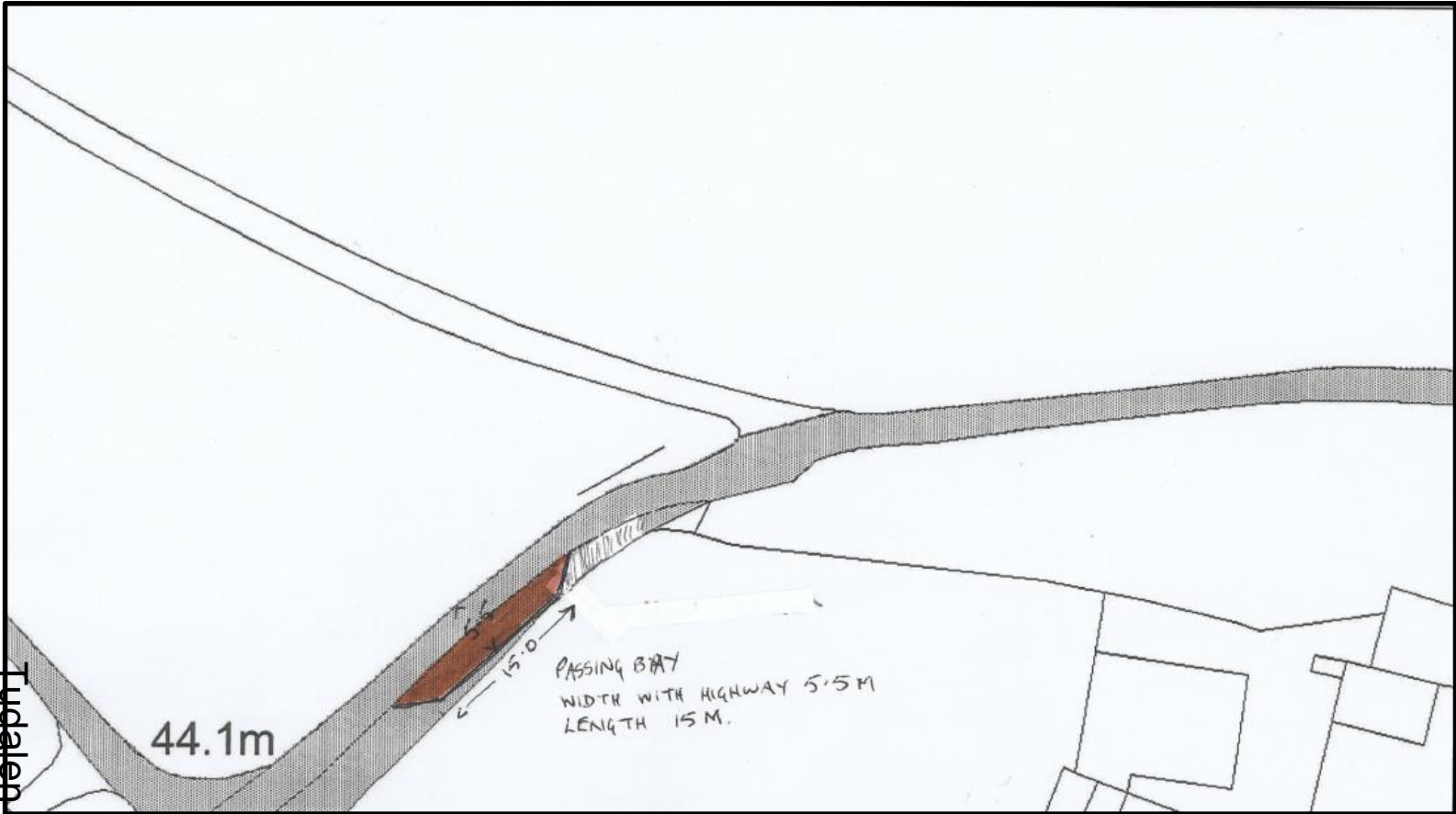


DARK BLUE/SLATE GREY STEEL SHEETING

FEED BINS - 4 to be erected on site



E/33695 LOCATION OF PROPOSED PASSING BAY BETWEEN DOLGARREG AND DOLBANT

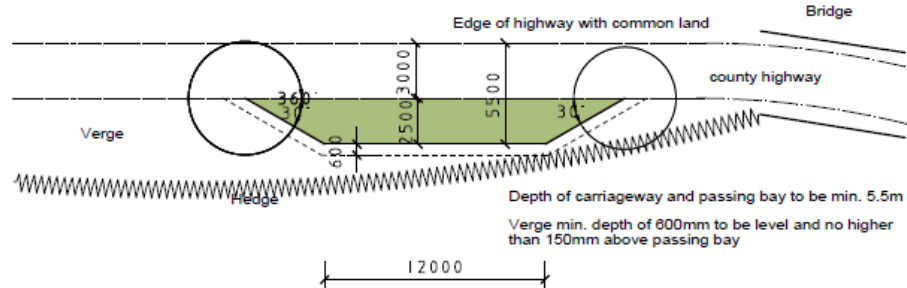


Tudalen 19

E/33695

SPECIFICATION OF PROPOSED PASSING BAY BETWEEN DOLGARREG AND DOLBANT

Tudalen 20

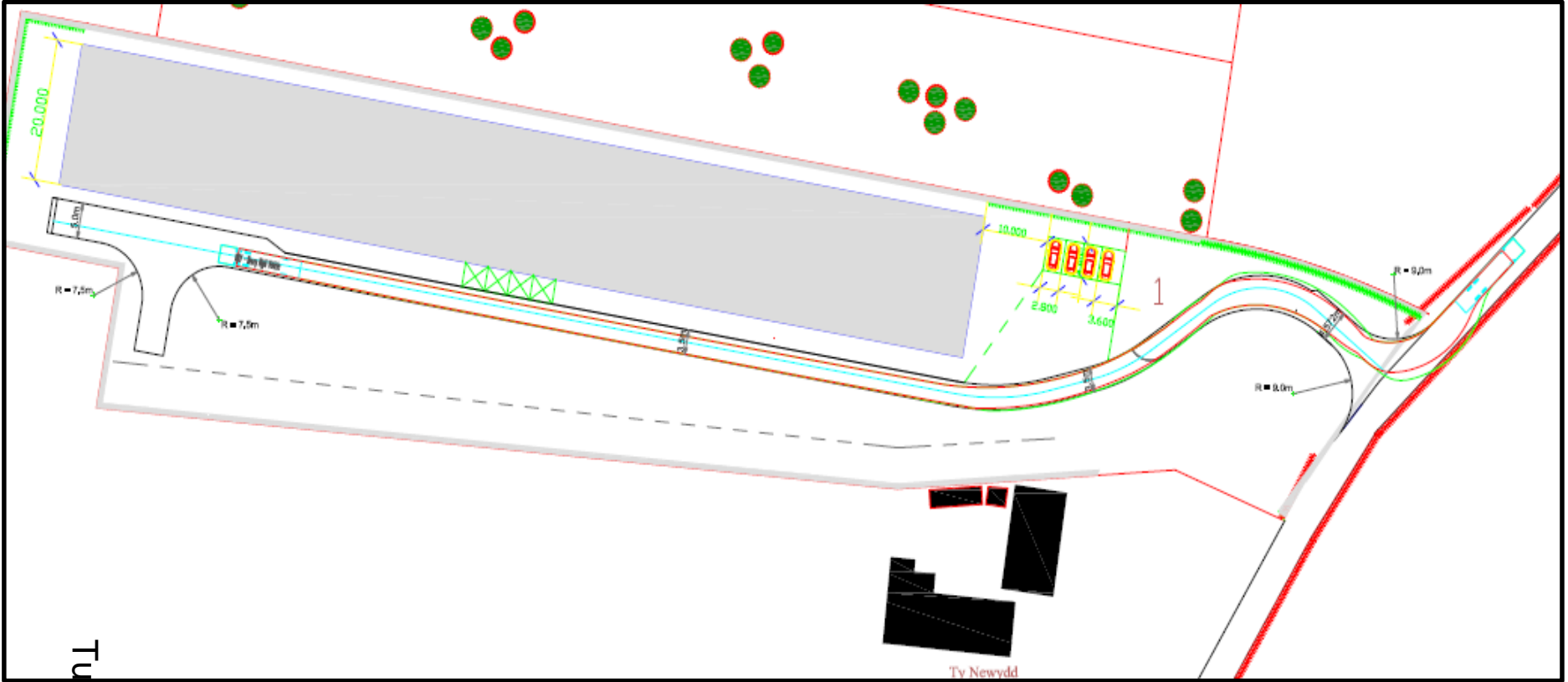


SURFACE COURSE : CLAUSE 912:CGM MATERIAL: BINDER GRADE 100PEN : 40MM THICK: BS4987 CLAUSE 7.4 10MM AGG
 BINDER COURSE 906:DBM 125PEN: 60MM CLAUSE 6.5 20MM AGG
 BASE COURSE 903:DBM 125pen : 100mm CLAUSE 5.2 28MM AGG
 SUB BASE 803:MOT type 1 250mm Min CBR clause 804.3 30%

PROPOSED POULTRY UNIT AT GODREGARREG, LLANGADOG
 DRAWING: PASSING PLACE
 SCALE: 1.250 DATE:13/12/2016 A3 SHEET
 MARTIN WATTS
 ARCHITECTURAL ASSOCIATES LTD.
 CYSWLLT PENSÆRNIOL CYF.
 MAESYREGOS, LLANWRDA SA19 8HD
 T. 01650 777 591
 M. 07854 148 915
 EM. martin@watts5712.freemove.co.uk
 www.mfmwattsarchitectural.co.uk

E/33695

HRV TRACKING PLAN

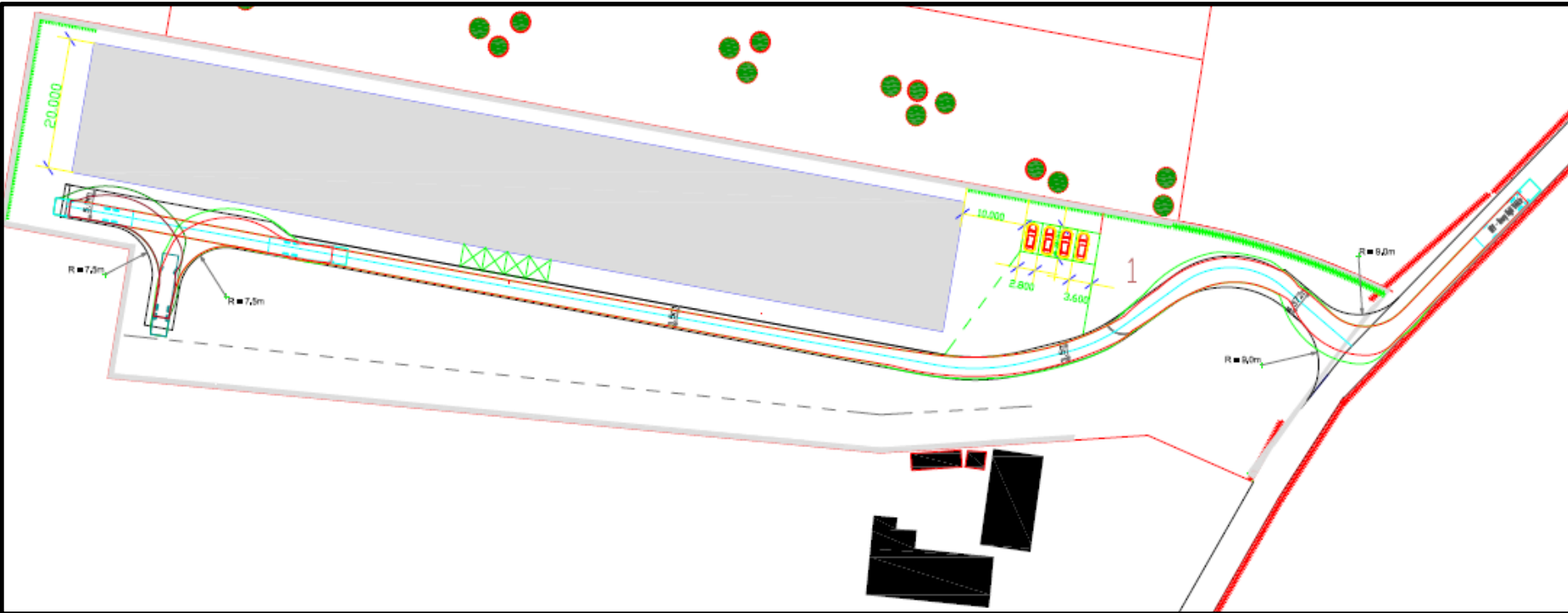


Tudalen 21

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HRV TRACKING PLAN

Tudalen 22



E/33695

SITE PHOTO



Tudalen 23

E/33695

SITE PHOTO

Tudalen 24



E/33695

SITE PHOTO SHOWING GODRE GARREG FARM



Tudalen 25

E/33695

SITE PHOTO

Tudalen 26



E/33695 SITE PHOTO SHOWING TY NEWYDD AND BROFANA



Tudalen 27

E/33695

SITE PHOTO SHOWING DERWEN DEG

Tudalen 28



E/33695

SITE PHOTO SHOWING BWLCHAGORED

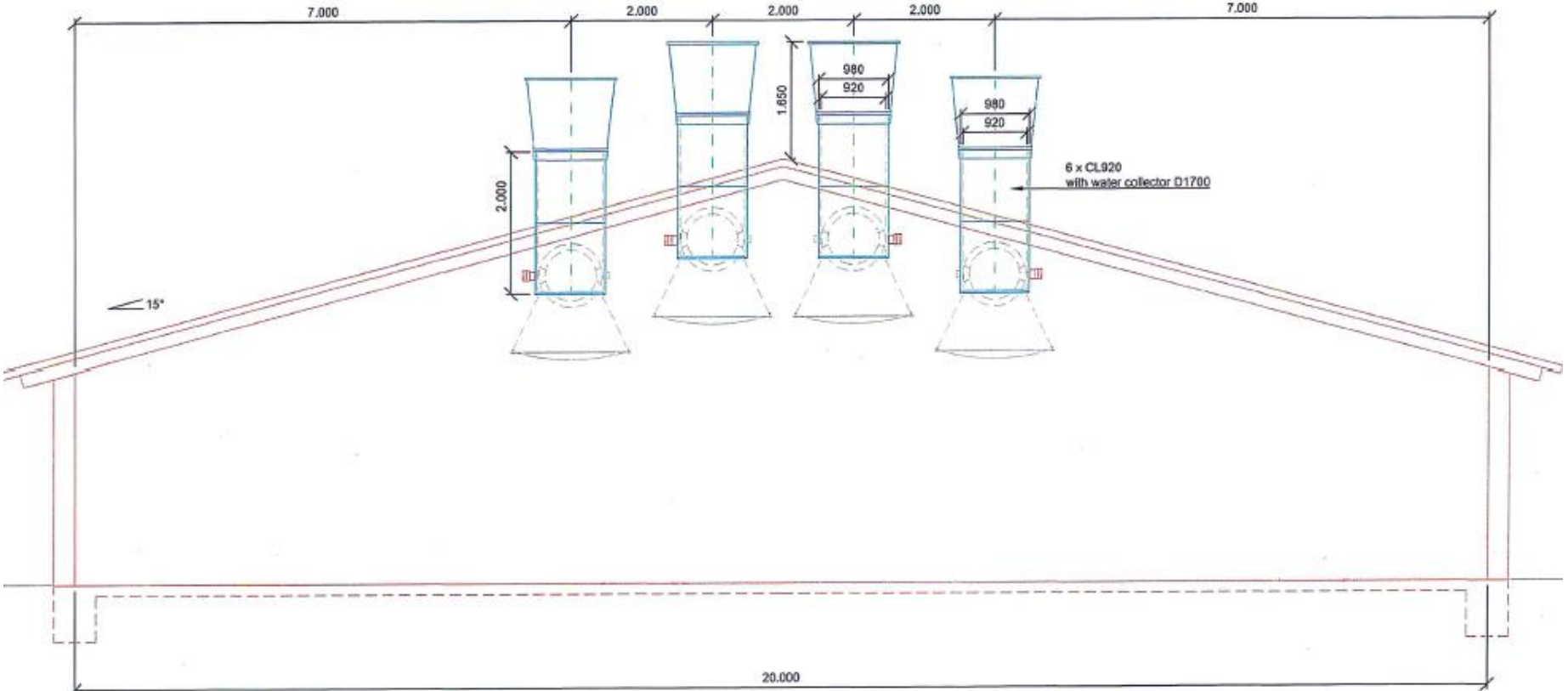


Tudalen 29

E/33695

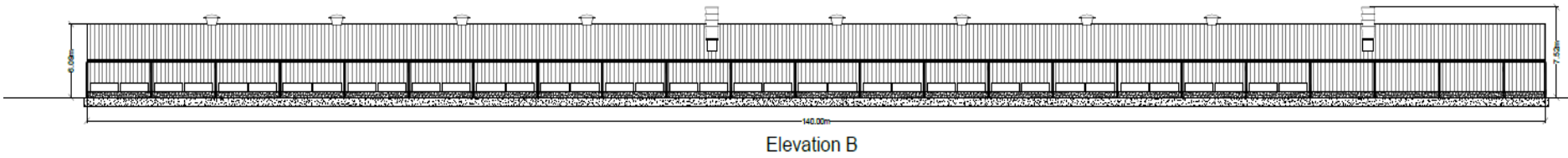
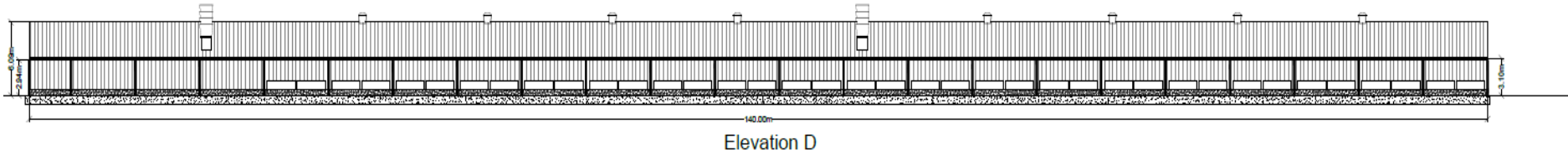
Fudalen 30

SECTION PLAN OF VENTILATION CHIMNEYS



E/33695

REVISED NORTH AND SOUTH ELEVATION DRAWINGS

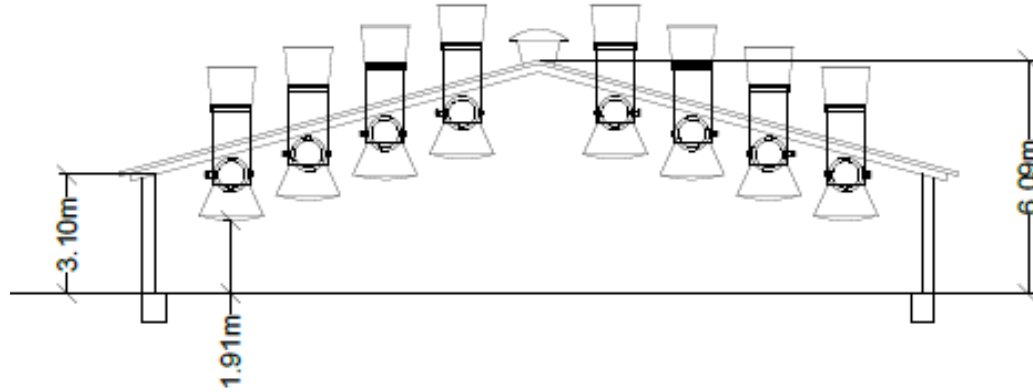


Tudalen 31

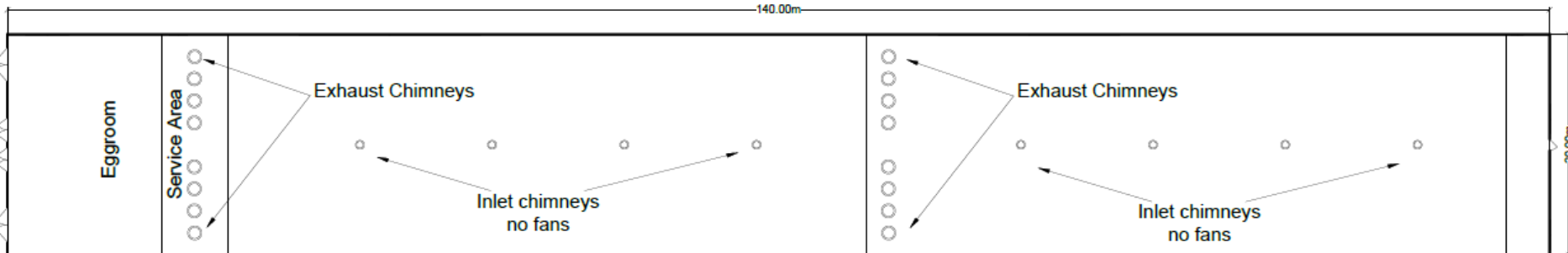
E/33695

Tudalen 32

REVISED CROSS SECTION AND ROOF PLAN



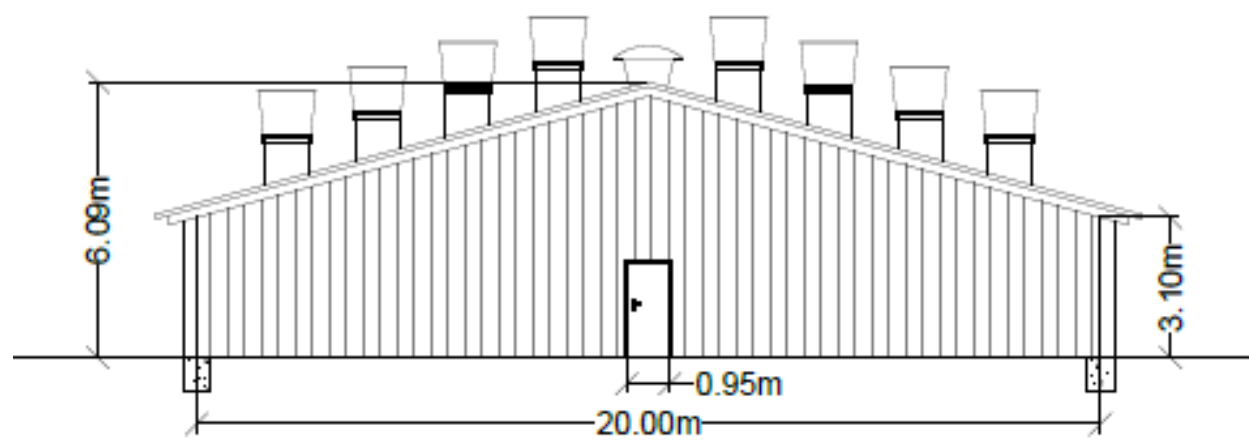
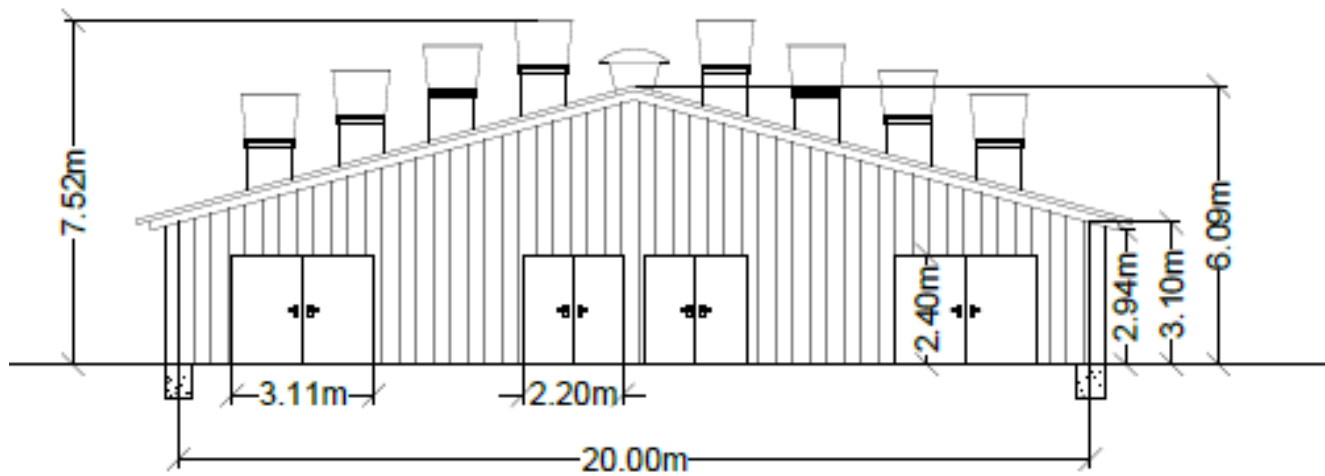
Cross Section



Roof Plan

E/33695

REVISED END ELEVATION PLANS

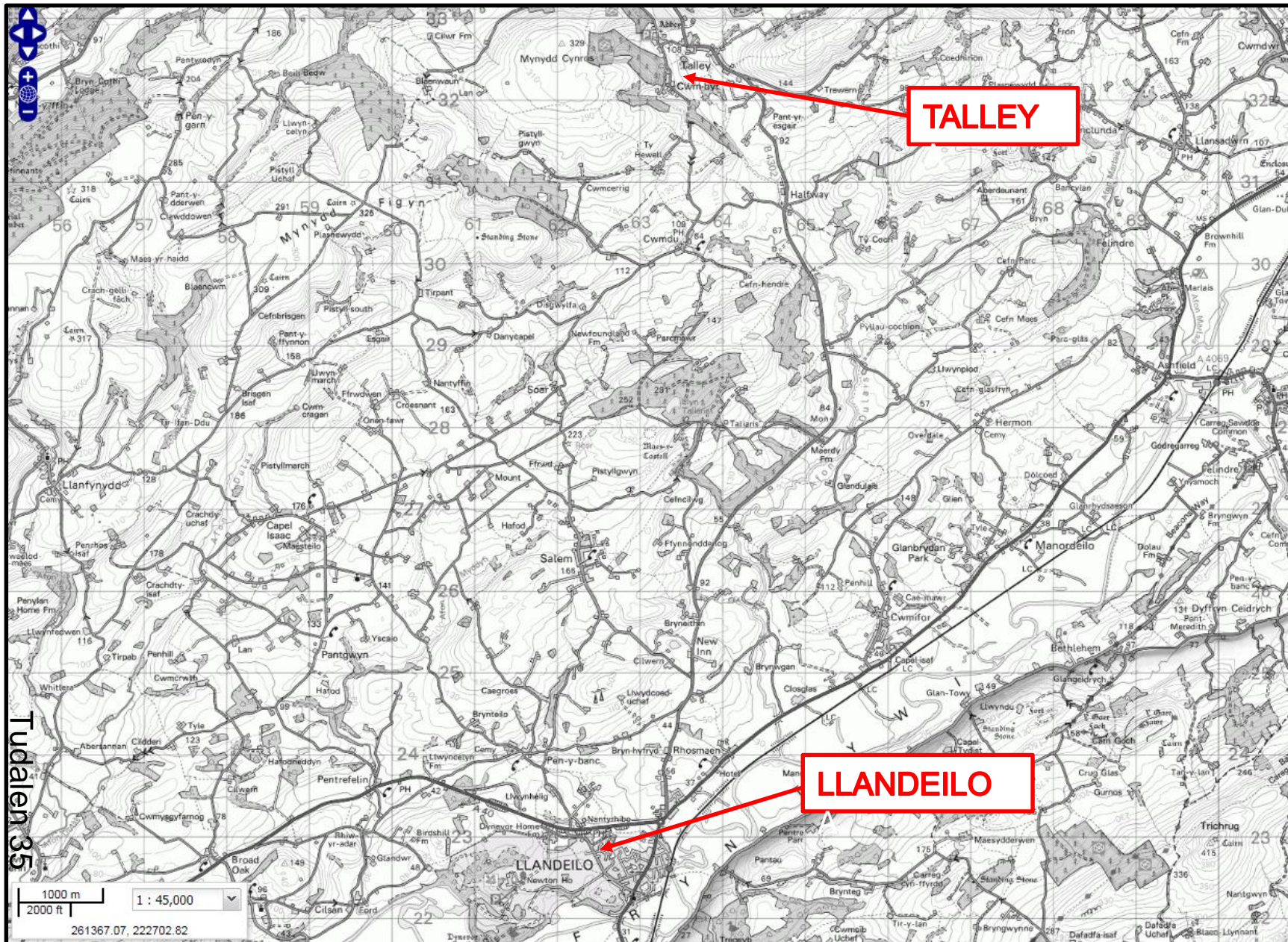


Tudalen 33

E/34849

E/34849

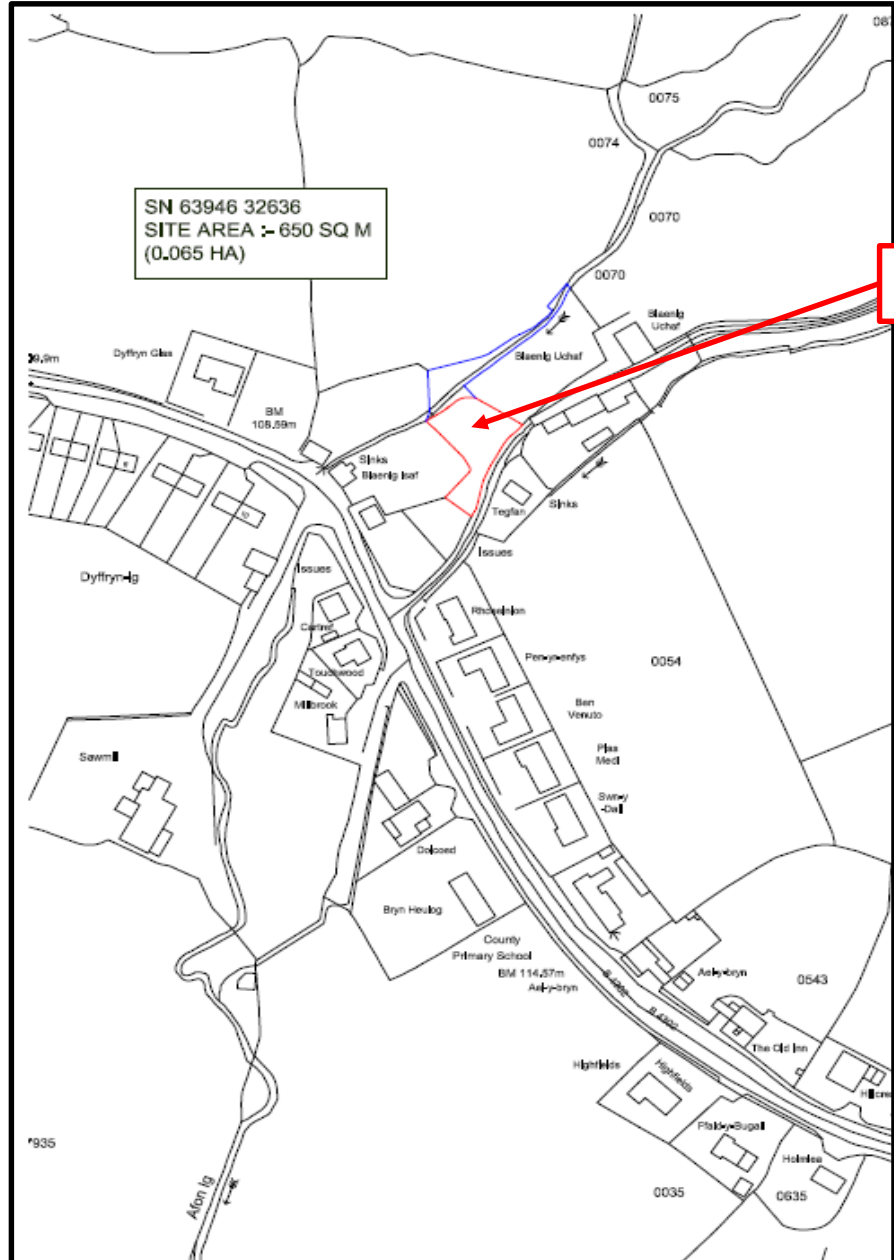
LOCATION PLAN



E/34849

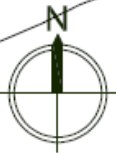
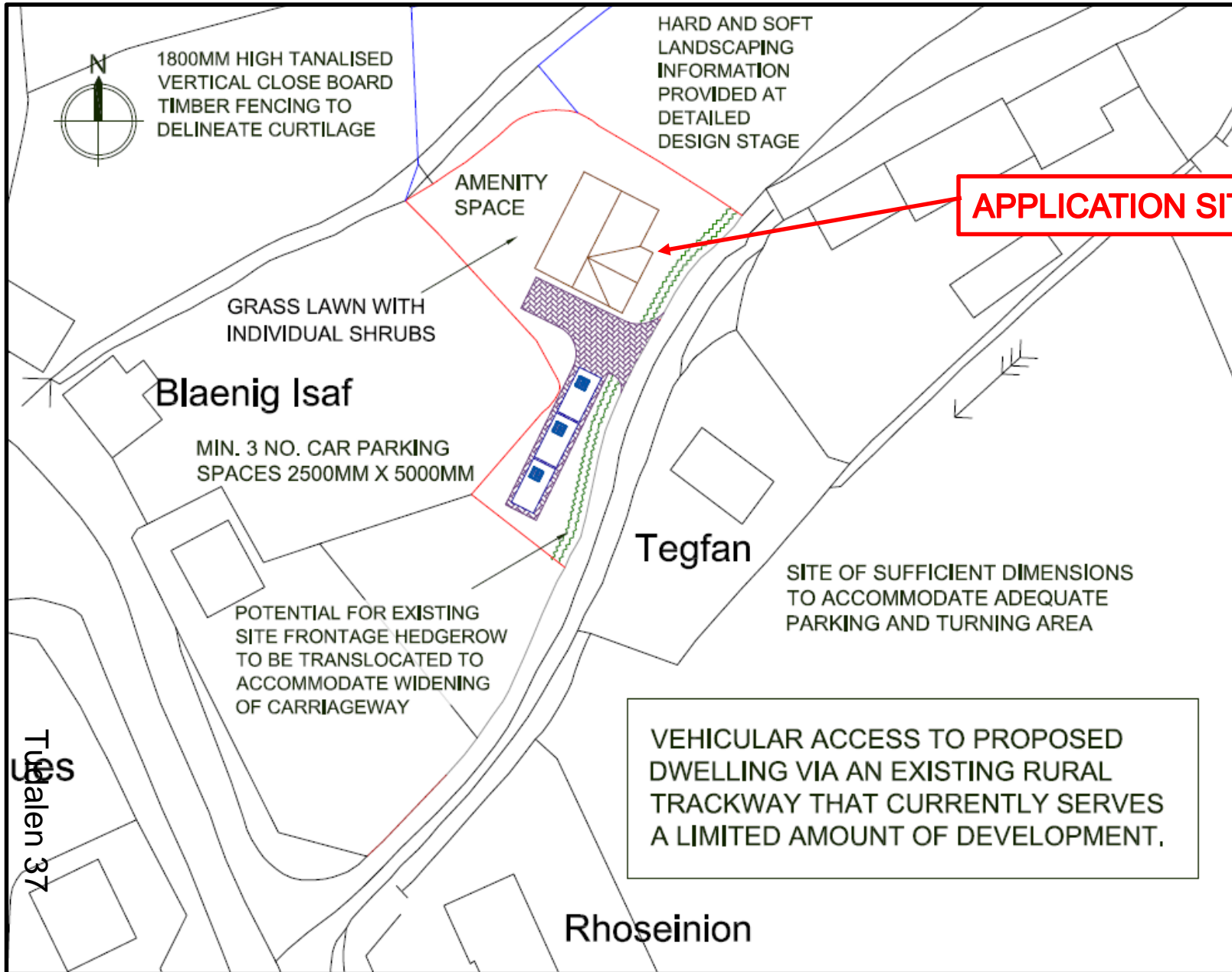
LOCATION PLAN

Tudalen 36



SN 63946 32636
SITE AREA :- 650 SQ M
(0.065 HA)

APPLICATION SITE



1800MM HIGH TANALISED VERTICAL CLOSE BOARD TIMBER FENCING TO DELINEATE CURTILAGE

HARD AND SOFT LANDSCAPING INFORMATION PROVIDED AT DETAILED DESIGN STAGE

APPLICATION SITE

AMENITY SPACE

GRASS LAWN WITH INDIVIDUAL SHRUBS

Blaenig Isaf

MIN. 3 NO. CAR PARKING SPACES 2500MM X 5000MM

POTENTIAL FOR EXISTING SITE FRONTAGE HEDGEROW TO BE TRANSLOCATED TO ACCOMMODATE WIDENING OF CARRIAGEWAY

Tegfan

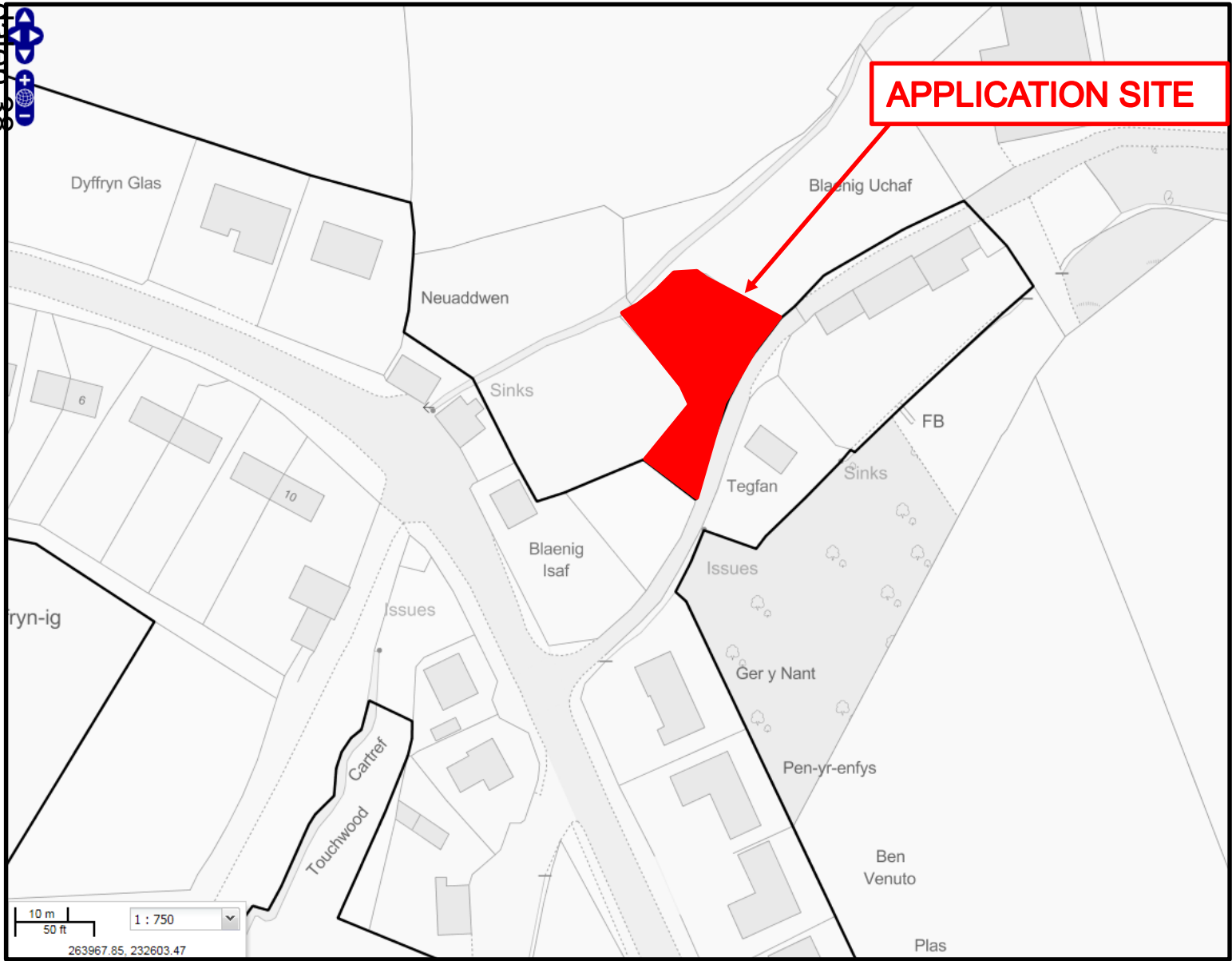
SITE OF SUFFICIENT DIMENSIONS TO ACCOMMODATE ADEQUATE PARKING AND TURNING AREA

VEHICULAR ACCESS TO PROPOSED DWELLING VIA AN EXISTING RURAL TRACKWAY THAT CURRENTLY SERVES A LIMITED AMOUNT OF DEVELOPMENT.

Rhoseinion

Tegfan 37

Tudalen 38



E/34849

AERIAL SITE PHOTO



APPLICATION SITE

Tudalen 39

E/34849

SITE PHOTO

Tudalen 40



E/34849

SITE PHOTO



Tudalen 41

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SITE PHOTO

Tudalen 42



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SITE PHOTO



Tudalen 43

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Tudalen 44

SITE PHOTO

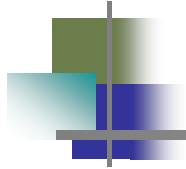


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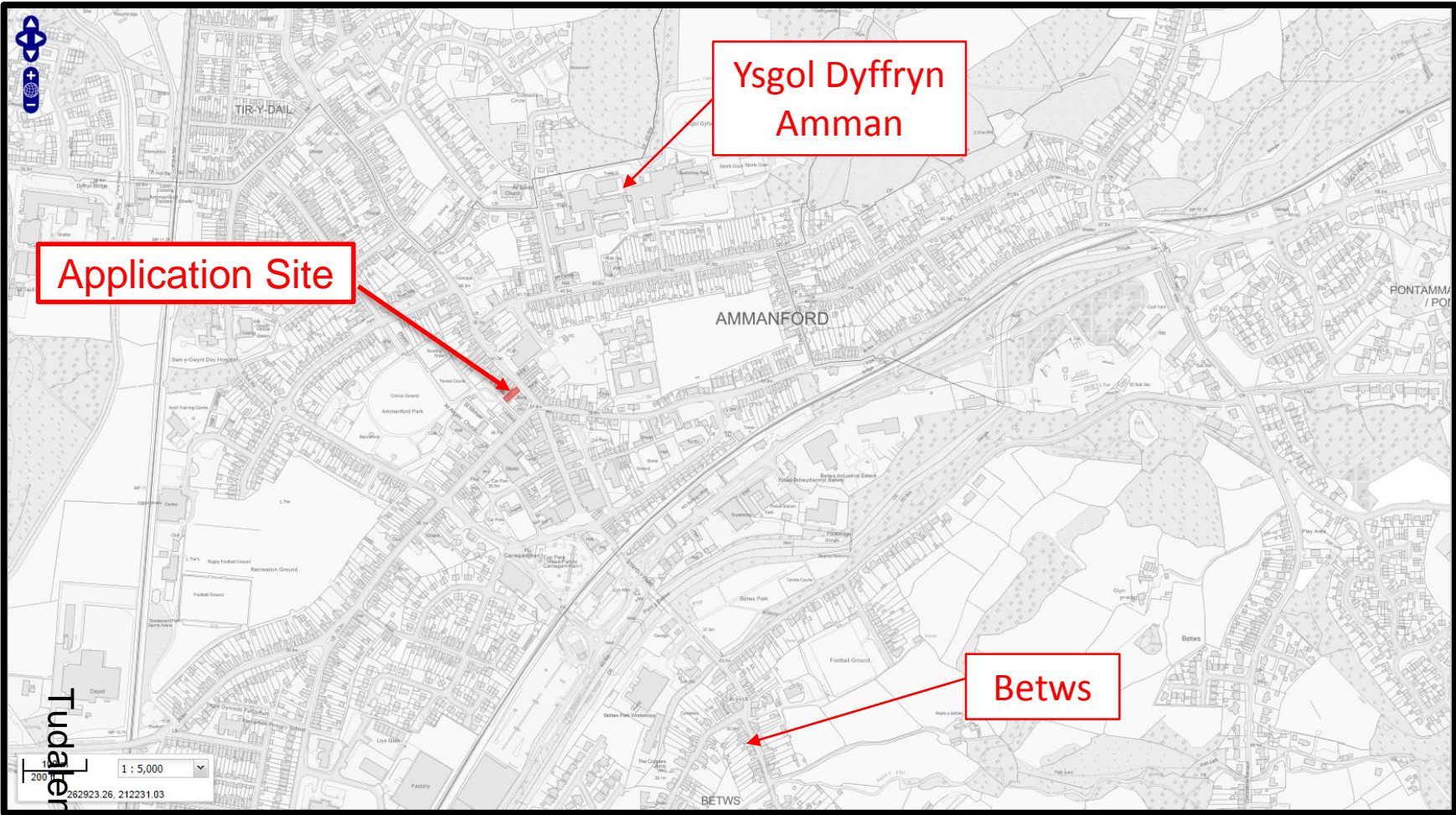
SITE PHOTO



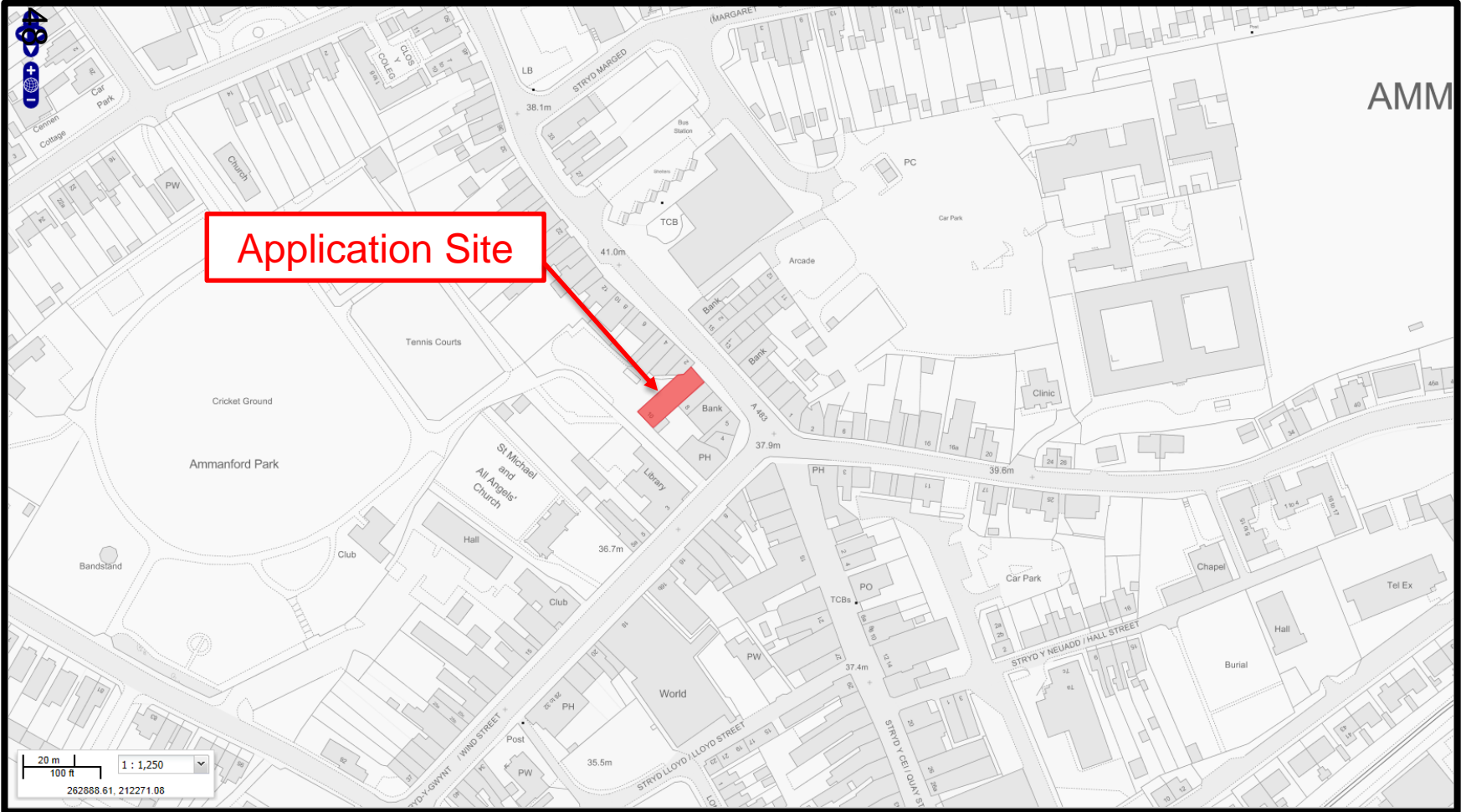
Tudalen 45



E/35109



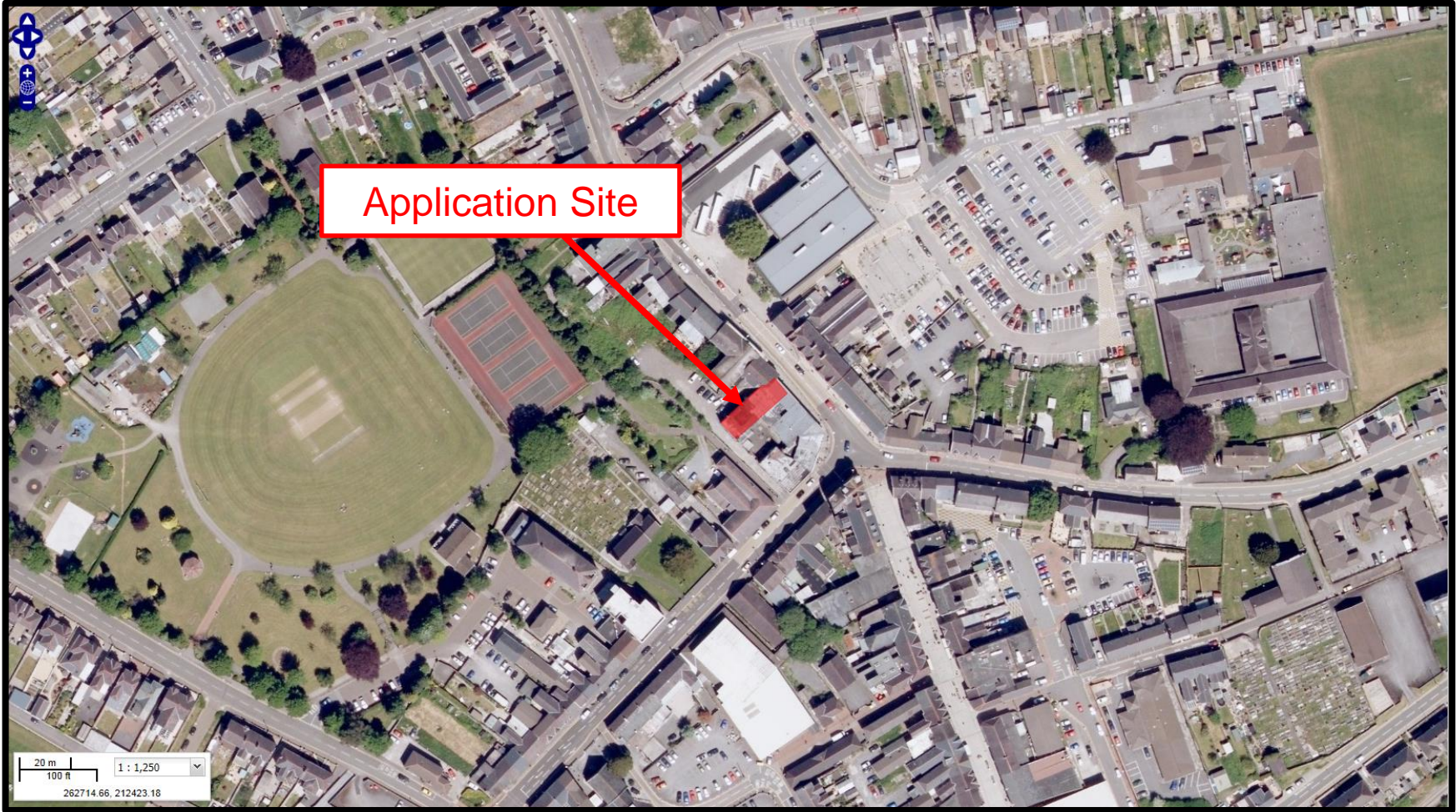
Tudalen



Application Site

20 m
100 ft
1 : 1,250
262888 61, 212271 08

E/35109 AERIAL PHOTO OF APPLICATION SITE

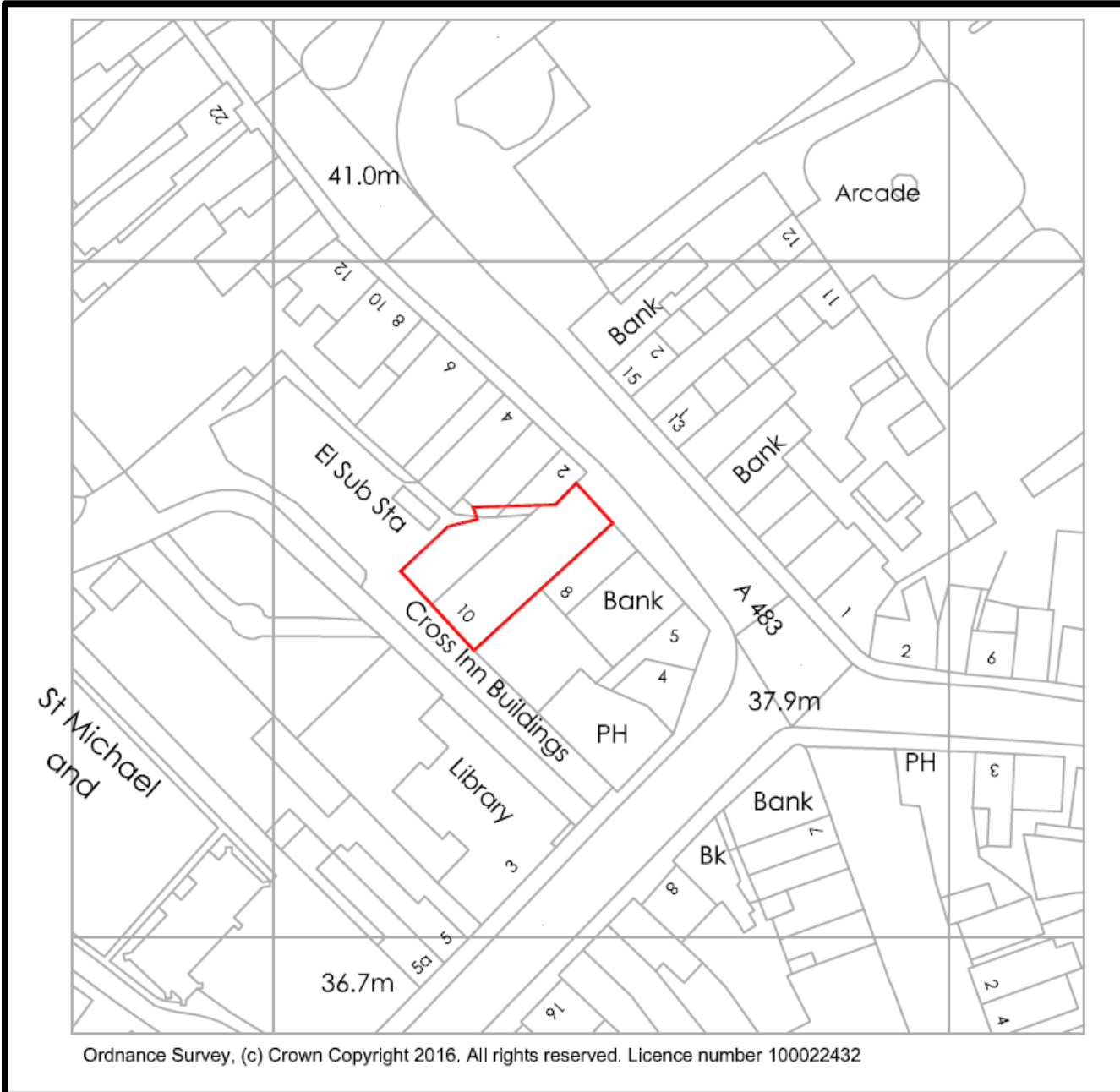


Tudalen 49

E/35109

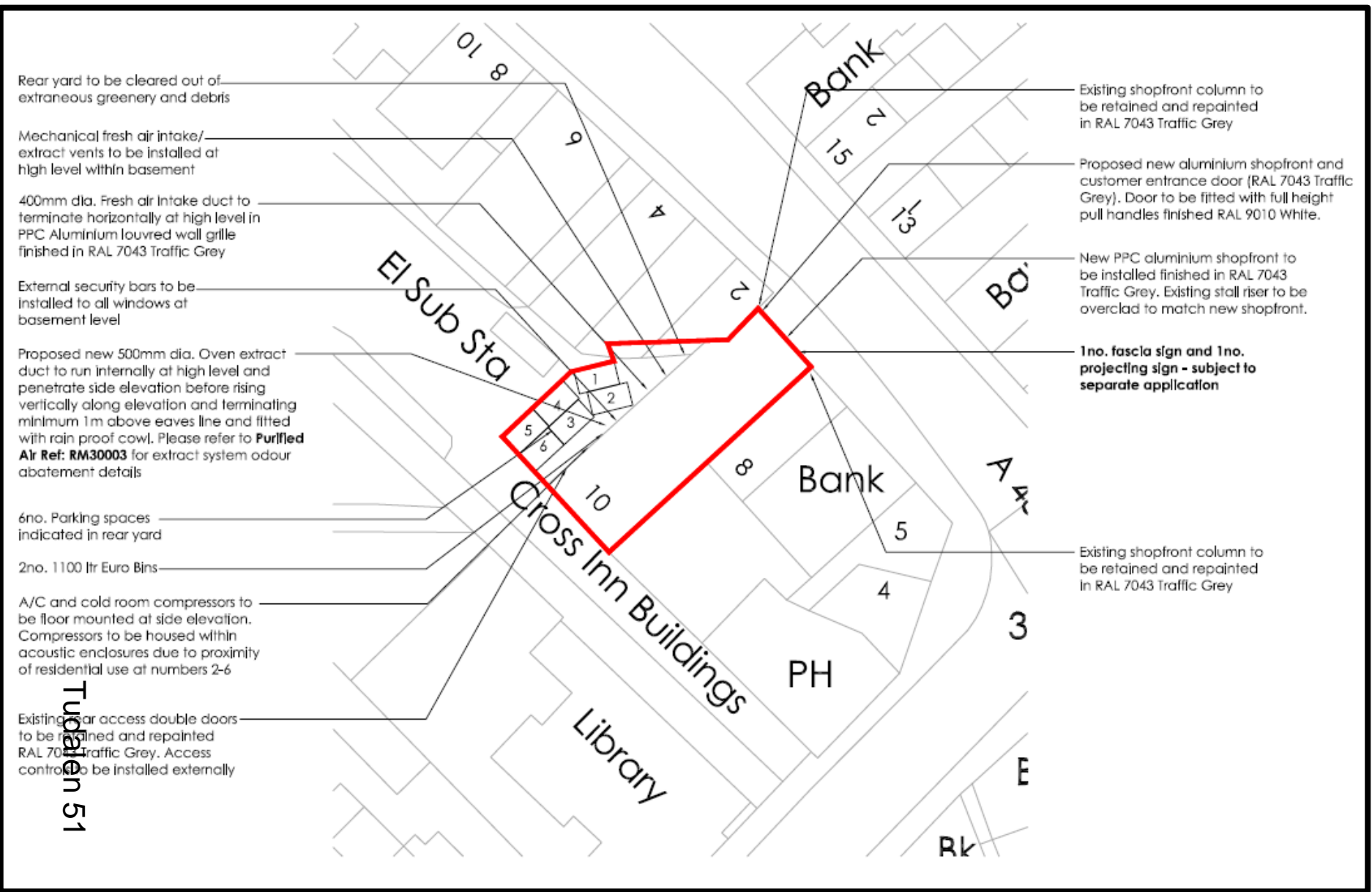
APPLICATION SITE

Tudalen 50



E/35109

PROPOSED SITE LAYOUT PLAN



Rear yard to be cleared out of extraneous greenery and debris

Mechanical fresh air intake/extract vents to be installed at high level within basement

400mm dia. Fresh air Intake duct to terminate horizontally at high level in PPC Aluminium louvred wall grille finished in RAL 7043 Traffic Grey

External security bars to be installed to all windows at basement level

Proposed new 500mm dia. Oven extract duct to run internally at high level and penetrate side elevation before rising vertically along elevation and terminating minimum 1m above eaves line and fitted with rain proof cowl. Please refer to **Purified Air Ref: RM30003** for extract system odour abatement details

6no. Parking spaces indicated in rear yard

2no. 1100 ltr Euro Bins

A/C and cold room compressors to be floor mounted at side elevation. Compressors to be housed within acoustic enclosures due to proximity of residential use at numbers 2-6

Existing rear access double doors to be retained and repainted RAL 7043 Traffic Grey. Access controls to be installed externally

Existing shopfront column to be retained and repainted in RAL 7043 Traffic Grey

Proposed new aluminium shopfront and customer entrance door (RAL 7043 Traffic Grey). Door to be fitted with full height pull handles finished RAL 9010 White.

New PPC aluminium shopfront to be installed finished in RAL 7043 Traffic Grey. Existing stall riser to be overlaid to match new shopfront.

1no. fascia sign and 1no. projecting sign - subject to separate application

Existing shopfront column to be retained and repainted in RAL 7043 Traffic Grey

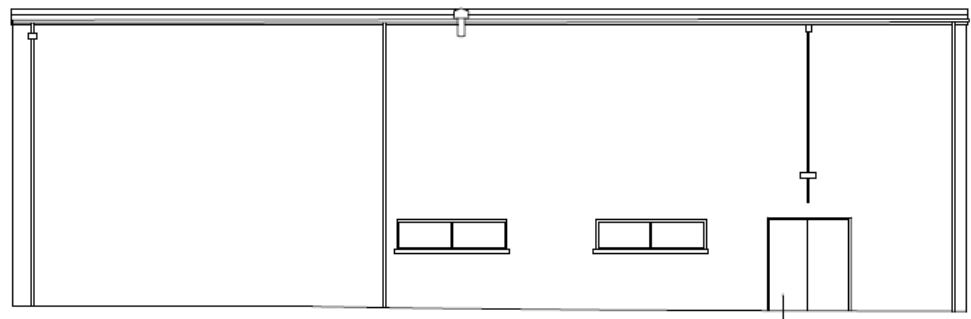
Tuohimäen 51

Tudalen 52



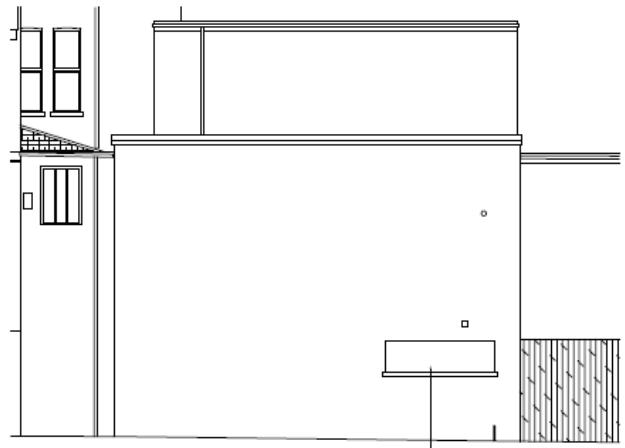
Existing window to be replaced
Existing entrance door to be removed and replaced

Existing Elevation A



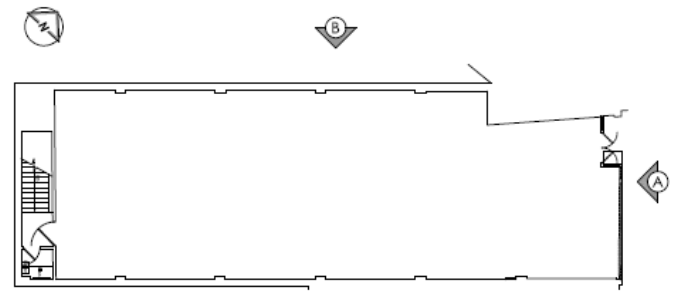
Existing rear access double doors to be retained and repaired

Existing Elevation B



All windows of basement level to be fitted with external security bars

Existing Elevation C



Ground Floor Key Plan (NTS)

NOTES

- All dimensions shown to be checked on site.
- Any discrepancies to be reported to the architect before any work commences.
- All work to be completed in accordance with the Building Regulations, Part B (Fire) and Part M (Access to Buildings).
- The contractor is to be responsible for securing all access within the site at all times.
- All work to be completed in accordance with the Building Regulations, Part M (Access to Buildings) and Part L (Energy Efficiency).
- All work to be completed in accordance with the Building Regulations, Part M (Access to Buildings) and Part L (Energy Efficiency).

DESIGN HAZARD IDENTIFICATION

- Proposed work subject to Building Control approval of all changes and access arrangements.
- Access to rear access double doors to be retained and repaired.

PROJECT	Tudalen 52	DATE	05/01/2017	SCALE	1:50
CLIENT	...	DESIGNER	...	CHECKED BY	...
TITLE	For Approval	DATE	05/01/2017	PROJECT NO.	PJ000409
DESCRIPTION	Stage 2 - Change of Use	PROJECT NAME	...	PROJECT ADDRESS	...
PROJECT NO.	PJ000409	PROJECT NAME	...	PROJECT ADDRESS	...
PROJECT NO.	PJ000409	PROJECT NAME	...	PROJECT ADDRESS	...

Proposed Elevation A

Existing external column to be retained and repainted in RAL 7043 traffic Grey.

Fin. Trade sign and fin. projecting sign subject to separate application.

New PVC aluminium shopfront to be finished in RAL 7043 Traffic Grey. Existing shopfront to be overclad to match new shopfront.

Proposed new aluminium shopfront and customer entrance door (RAL 7043 Traffic Grey). Door handle finished white RAL 9010.

Existing shopfront column to be retained and repainted in RAL 7043 Traffic Grey.

Proposed Elevation B

400mm dia. rain off take duct to terminate horizontally at high level in PVC aluminium covered wall panel painted in RAL 7043 traffic Grey.

Proposed new 500mm dia. down extract duct to run internally at high level and penetrate the elevation below existing window along elevation and terminate in PVC covered soffit line and fitted with high proof cowd. (Please refer to Project #168 0000 for extract system odour abatement details).

2no. 1100 In Sure Lite

External security bars to be installed to all windows to be painted RAL 7043 traffic Grey.

Cold room compressor located within Shopfront I.I.25C3 Series 1 cold room compressor enclosure.

A/C compressor located within Shopfront I.I.25AC Series 2P22 A/C compressor enclosure.

Existing rear access double doors to be retained and repainted RAL 7043 traffic Grey. Access controls to be finished externally.

Rear yard to be cleared out of extraneous gentry and debris.

Proposed Elevation C

External security bars to be installed to window to be painted RAL 7043 traffic Grey.

Ground Floor
Key Plan (NTS)

NOTES

- All dimensions shall be to finished surface.
- All dimensions to be reported to the architect before any construction.
- All materials to be specified in accordance with the contract documents.
- The proposed work shall be completed within the specified time frame.
- All materials to be specified in accordance with the contract documents.
- All materials to be specified in accordance with the contract documents.
- All materials to be specified in accordance with the contract documents.

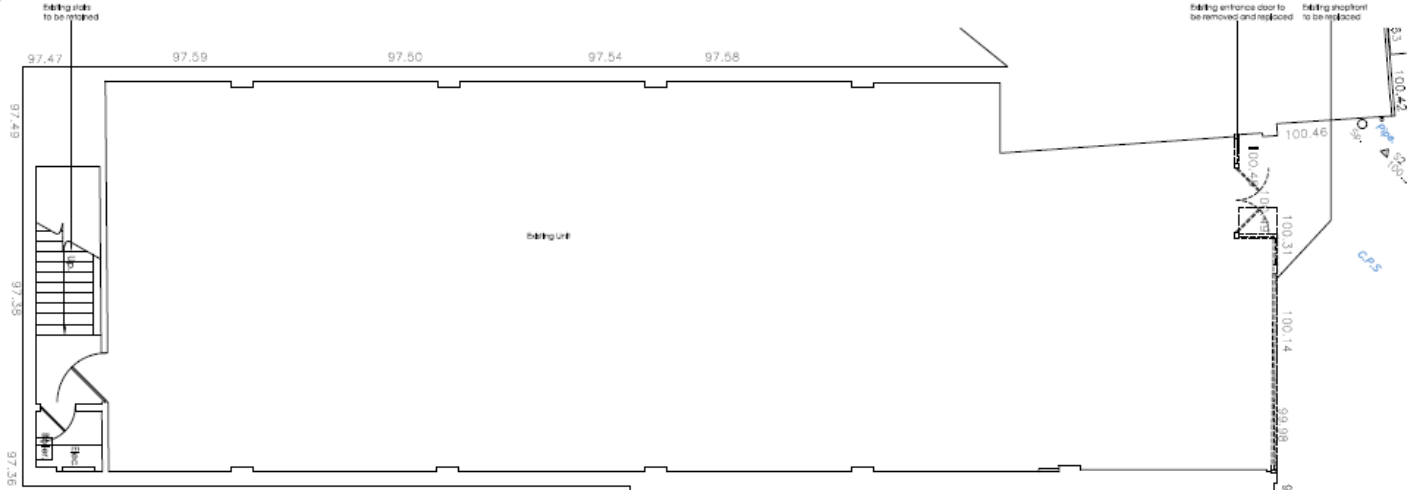
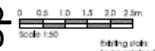
DESIGN HAZARD IDENTIFICATION

- Proposed work subject to Building Control approval of the design and construction.
- Additional survey report required prior to commencement.

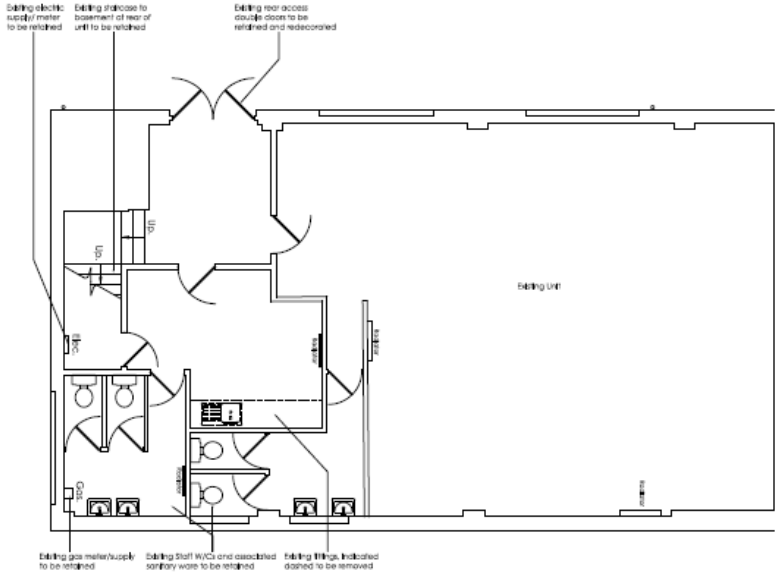
DATE	20/11/2017	BY	SJB	ROLE	DCP	
INTENDED	For Approval					
REV	Date	Description	Checked by			
01		Issue for Approval				
Stage in Change of Use						
Private Client						
PROJECT	Lang 9 Cross Street Building				REF	P.0000429
Cullage Street Ammanford, SA18 3AL						
Proposed Elevations						
DATE	20/11/2017	BY	SJB	SCALE	AS SHOWN	

Tudalen 53

Judalen 54



Ground floor



Basement floor

Existing GA

- NOTES**
- All dimensions and levels to be checked on site.
 - Any discrepancies to be reported to the architect before any work commences.
 - Materials and workmanship to conform to current building regulations unless otherwise stated.
 - The drawings shall not be reproduced without express written permission from the architect.
 - The works shall be carried out in accordance with the Building Regulations and all other relevant legislation.
 - The drawings are based on Ordnance Survey data and are not to be used for any other purpose.

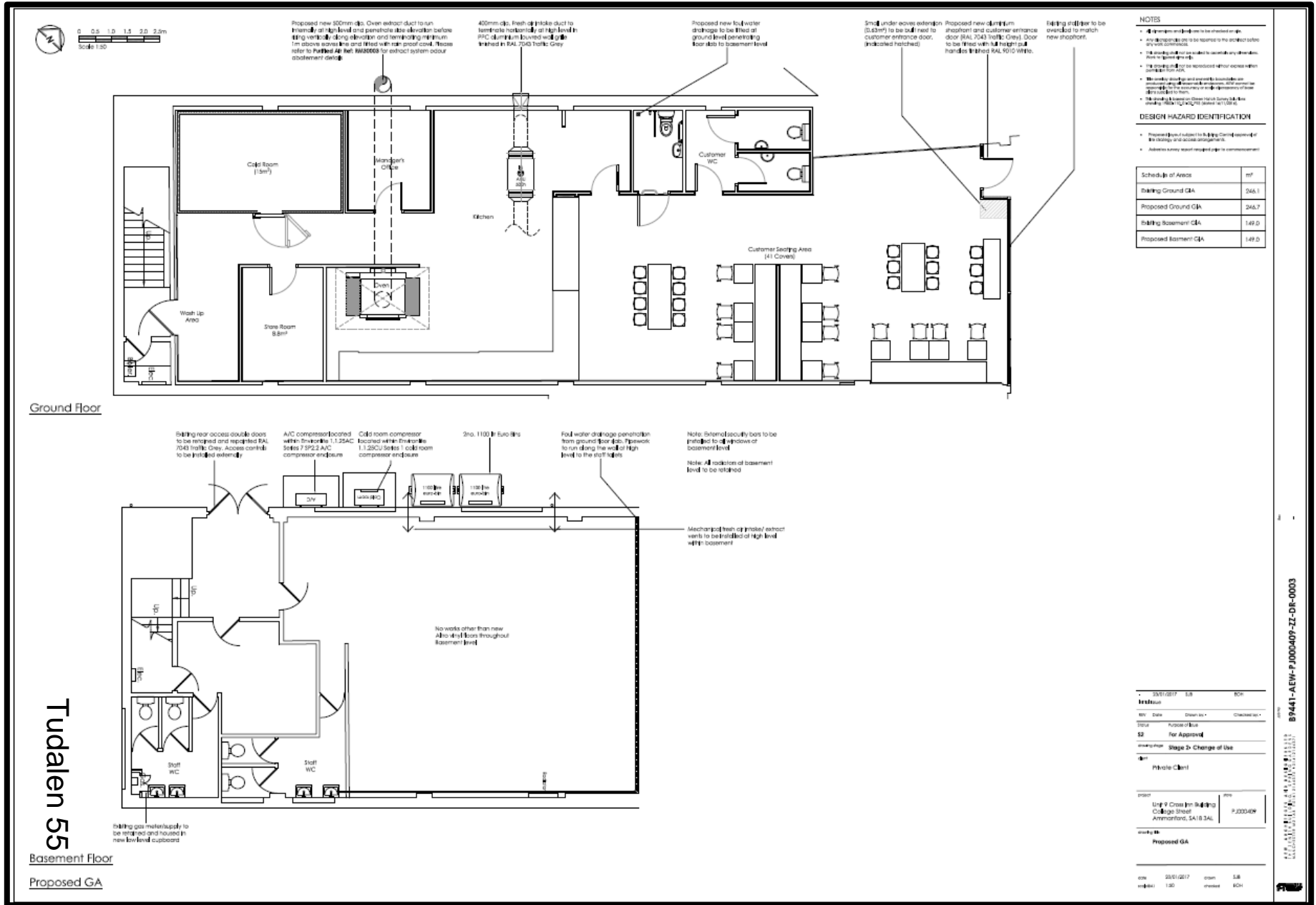
DESIGN HAZARD IDENTIFICATION

- Proposed work subject to Building Control approval of all structural and access arrangements.
- Address safety report required prior to commencement.

Schedule of Areas	m ²
Existing Ground G/A	246.1
Existing Basement G/A	147.0

REV	DATE	DESCRIPTION	CHECKED BY
52		FOR APPROVAL	
DRAWN BY: [Name]			
PROJECT: [Project Name]			
DRAWING NO: [Drawing No]			

DATE	20/11/2017	DRAWN	SB
SCALE	1:50	CHECKED	SB



NOTES

- 1. All dimensions are to be checked on site.
- 2. All dimensions are to be approved by the architect before any work commences.
- 3. All work to be carried out in accordance with the relevant building regulations.
- 4. All work to be carried out in accordance with the relevant building regulations.
- 5. All work to be carried out in accordance with the relevant building regulations.
- 6. All work to be carried out in accordance with the relevant building regulations.
- 7. All work to be carried out in accordance with the relevant building regulations.
- 8. All work to be carried out in accordance with the relevant building regulations.

DESIGN HAZARD IDENTIFICATION

- 1. Proposed work subject to Building Control approval of any drainage and access arrangements.
- 2. Additional safety signs required to be implemented.

Schedule of Areas	m ²
Building Ground GIA	266.1
Proposed Ground GIA	246.7
Building Basement GIA	149.0
Proposed Basement GIA	149.0

DATE	23/01/2017	BY	S.B.	CHKD	S.B.
REV		DATE		CHANGED BY	
TRAC		APPROVED BY			
CHANGED FOR	Stage 2- Change of Use				
CLIENT	Private Client				
PROJECT	Unit 9 Cross Street College Street Ammanford, SA10 3AL	DATE	23/01/2017	BY	S.B.
DRAWING NO.	Proposed GA	SCALE	1:50	STATUS	CHKD

E/35109

SITE PHOTO

Tudalen 56

OPERING
CHILLING
PLANNING
NOTES

ERCIAL RICS
lard
commercial agents
LET
597949



E/35109

SITE PHOTO



Tudalen 57

E/35109

Tudalolen 58

SITE PHOTO

Clarks

TO LET
**Lambert
Smith
Hampton**
01792 702800
www.lsh.co.uk

Mallard
TO LET
01262 593948



E/35109 STREET VIEW(Looking NW)



Tudalen 59

E/35109

STREET VIEW(Looking SE)

Tudalen 60



*Ardal Del/
Area South*

**ADRODDIAD PENNAETH
CYNLLUNIO,
CYFARWYDDIAETH YR
AMGYLCHEDD**

**REPORT OF THE
HEAD OF PLANNING,
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN/**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 06 EBRILL 2017
ON 06 APRIL 2017**

**I'W BENDERFYNU/
FOR DECISION**

**ATODIAD
ADDENDUM**



ADDENDUM – Area South

<i>Application Number</i>	S/35189
<i>Proposal & Location</i>	SITING OF TWO DETACHED DWELLING HOUSES AT LAND AT FORMER CWMBLAWD SAWMILLS, LLANNON ROAD, PONTYBEREM, LLANELLI, SA15 5NB

DETAILS:

CONSULTATIONS

Head of Transport – Recommends refusal on the grounds of lack of visibility and lack of pedestrian facilities.

***Y PWYLLGOR
CYNLLUNIO***

06 EBRILL 2017

RHANBARTH Y DE

**PLANNING
COMMITTEE**

06 APRIL 2017

AREA SOUTH

***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU GWRTHOD***

**APPLICATIONS RECOMMENDED
FOR REFUSAL**

S/35189

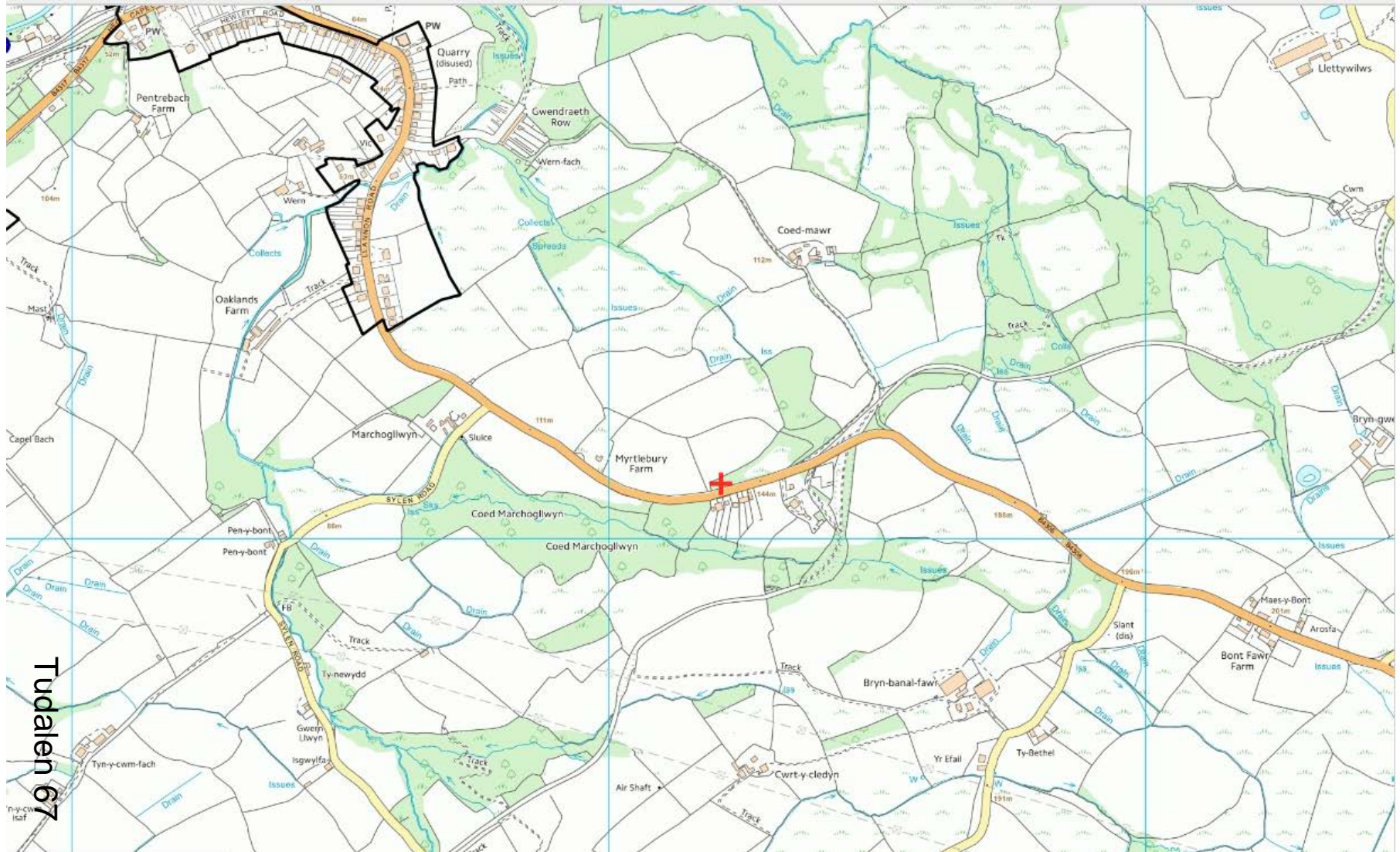
Tudalen 65

S/35189

Tudalen 66



S/35189



Tudalen 67

S/35189

Tudalen 68



S/35189

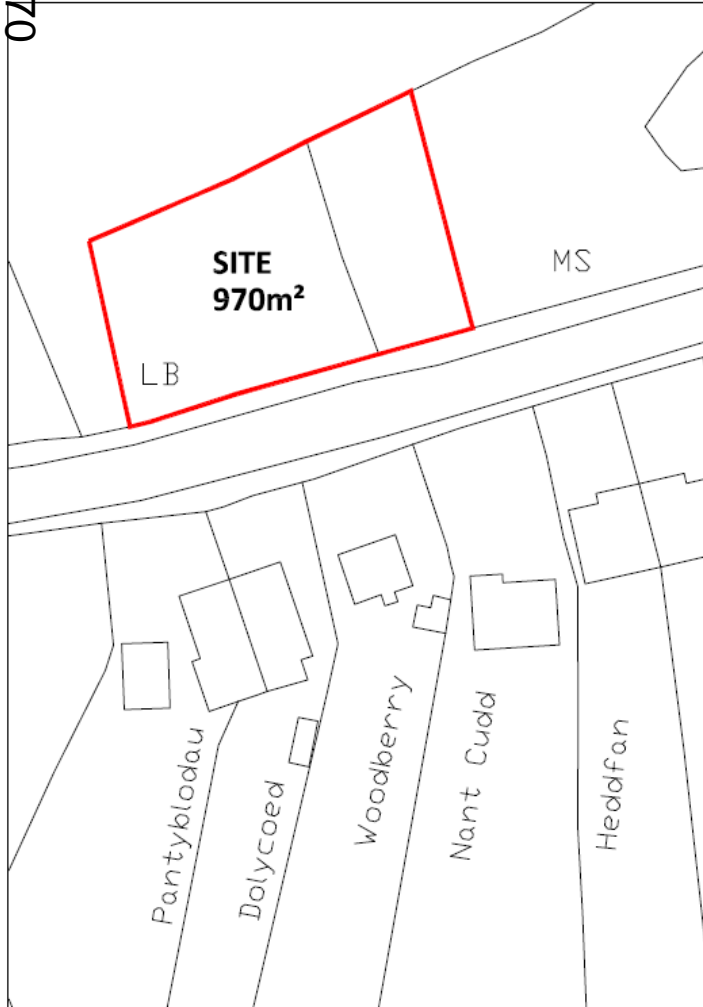


S/35189

SITE BLOCK & LOCATION PLAN

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Tubalen 70



SITE BLOCK PLAN 1:500



SITE LOCATION PLAN 1:1250



THIS SCHEME IS SUBJECT TO LOCAL PLANNING AND ALL OTHER NECESSARY CONSENTS. ALL DIMENSIONS, SITE LEVELS AND AREAS WHERE GIVEN ARE APPROXIMATE AND SUBJECT TO SITE SURVEY UNLESS STATED OTHERWISE. ALL DIMENSIONS MUST BE CHECKED ON SITE. DO NOT SCALE OFF THIS DRAWING. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' AND/OR SPECIALIST'S DRAWINGS OR DOCUMENTS. SAURO ARCHITECTURAL DESIGN MUST BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES BEFORE THE AFFECTED WORK COMMENCES. ALL CLAIMS RELATING TO DESIGN OR FOUNDATIONS, FLOOR SLABS AND ANY OTHER STRUCTURAL ELEMENTS ARE TO BE REFERRED TO THE STRUCTURAL ENGINEER FOR CLARIFICATION.

PLANNING

Revision	Description	Date



Project Client
Mr & Mrs Lewis

Project Title
Residential development 2 detached dwellings. Land known as Cwmblawd Sawmills, Llannon Road, Pontyberem, SA15 5NB

Drawing Title
Site Block & Location Plan

Scale: 1:500-1250 Drawn by: 03

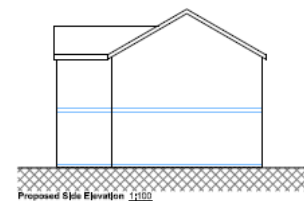
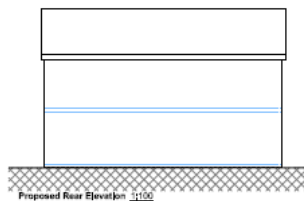
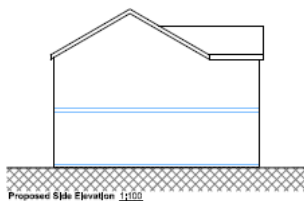
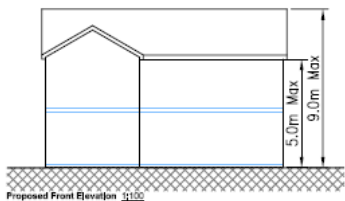
Date: 26,01,2017 Job No: 701 Drawing No: LP-D1

Rev. No: * Checked: Sheet Size: A3

SAURO ARCHITECTURAL DESIGN
9 ELLISTON TERRACE, CARMARTHEN
CARMARTHENSHIRE, SA31 1HA.
Tel: 01267 233 684
email: design@sauroarchitectural.co.uk
© Drawing Copyright Sauro Architectural Design

S/35189

INDICATIVE SITE PLAN & SCALE PARAMETERS

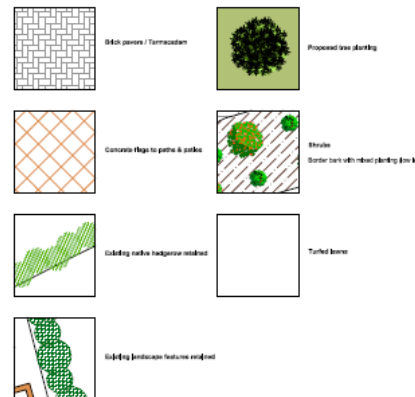
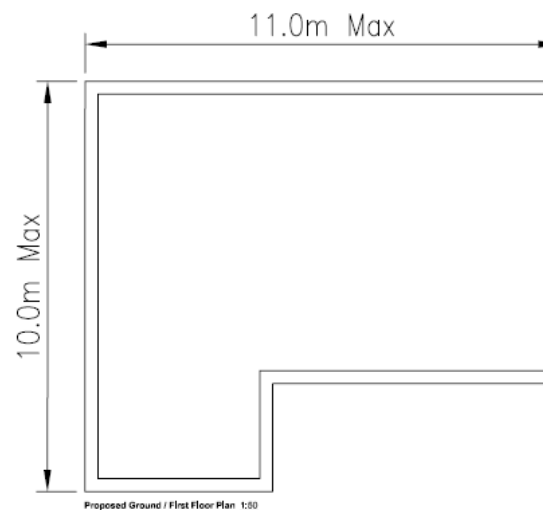


EXTERNAL FINISHES	
Walls	Facery Brickwork
Roof	Concrete / Natural
Windows	UPVC
ROOF	Black UPVC



Proposed Site Plan 1:200

CWMBLAWD SAWMILLS, LLANNON ROAD, PONTYBEREM



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PLANNING	
APPLICANT	Mr & Mrs Lewis
PROJECT	Indicative site plan & scale parameters

DATE	26/11/2017	SCALE	1:500
DRAWN	SAURO	CHECKED	SAURO

SAURO ARCHITECTURAL DESIGN
 9211 BLOOMFIELD TERRACE, CARMARTHEN
 SA31 3YR, SAURO ARCHITECTURAL DESIGN
 01497 521500
 email: info@sauroarchitectural.co.uk
 www: www.sauroarchitectural.co.uk

S/35189

Tudalen 72



S/35189



Tudalen 73

S/35189

Tudalen 74



S/35189



Tudalen 75

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Tudalen 76



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Tudalen 77

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Tudalen 78



S/35189



Tudalen 79

S/35189

Tudalen 80



S/35189

Tudalen 81



S/35189

Tudalen 82



S/35189



Tudalen 83

Mae'r dudalen hon yn wag yn fwriadol

*Ardal
Gorllewin/
Area West*

**ADRODDIAD PENNAETH
CYNLLUNIO,
CYFARWYDDIAETH YR AMGYLCHEDD**

**REPORT OF THE
HEAD OF PLANNING,
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN/**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 6 EBRILL 2017
ON 6 APRIL 2017**

**I'W BENDERFYNU/
FOR DECISION**

ADDENDUM



ADDENDUM – Area West

<i>Application Number</i>	W/34901
<i>Proposal & Location</i>	DETACHED DWELLING HOUSE AT LAND AT MOUNTHILL, MOUNT PLEASANT, PENSARN, CARMARTHEN, SA31 2LJ

DETAILS:

CONSULTATIONS

Dwr Cymru/Welsh Water – Has responded raising no objections.

***Y PWYLLGOR
CYNLLUNIO***

6 EBRILL 2017

***RHANBARTH Y
GORLLEWIN***

**PLANNING
COMMITTEE**

6 APRIL 2017

**AREA
WEST**

CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO

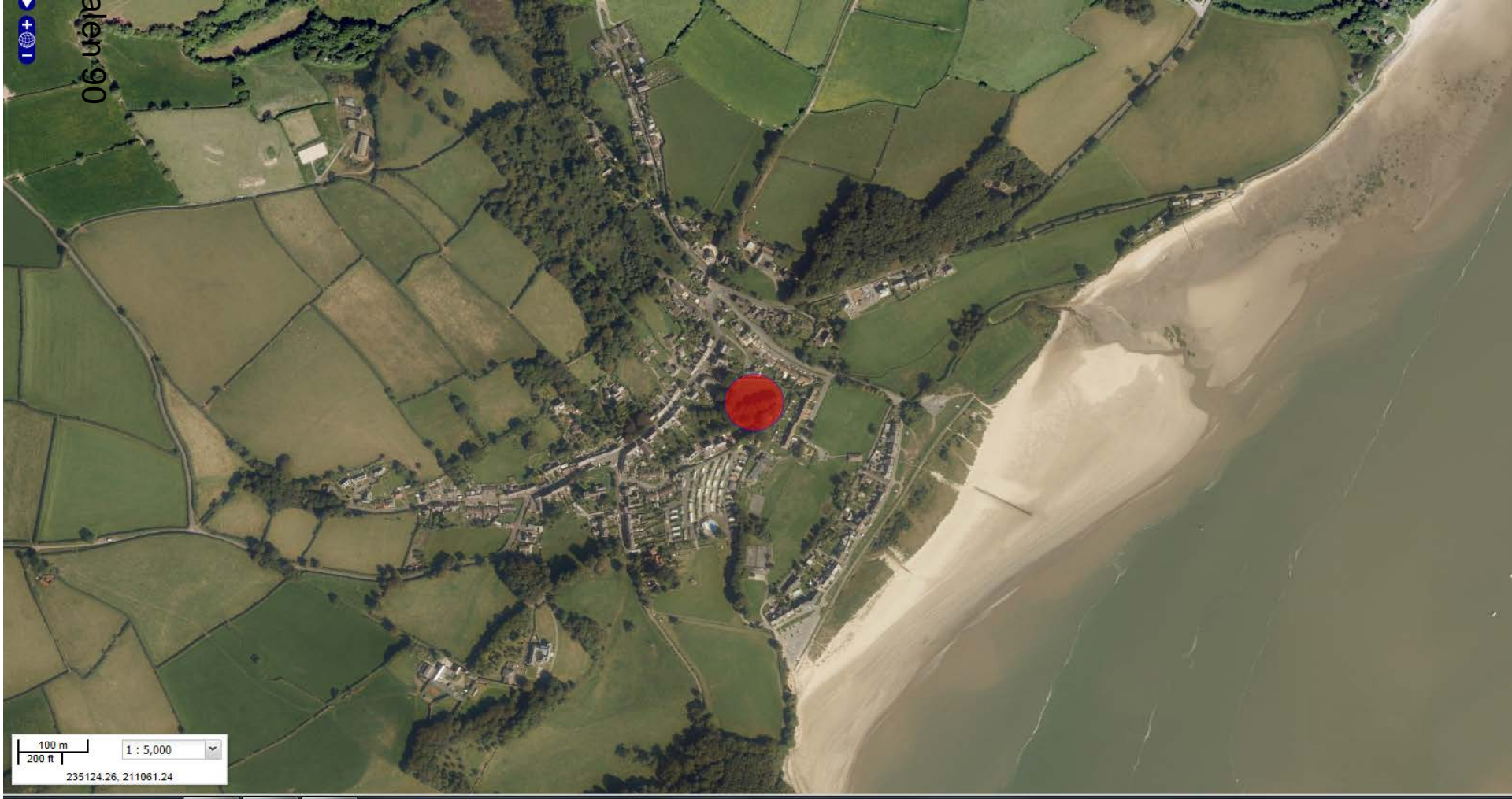
APPLICATIONS RECOMMENDED FOR APPROVAL

W/31230

Tudalen 89

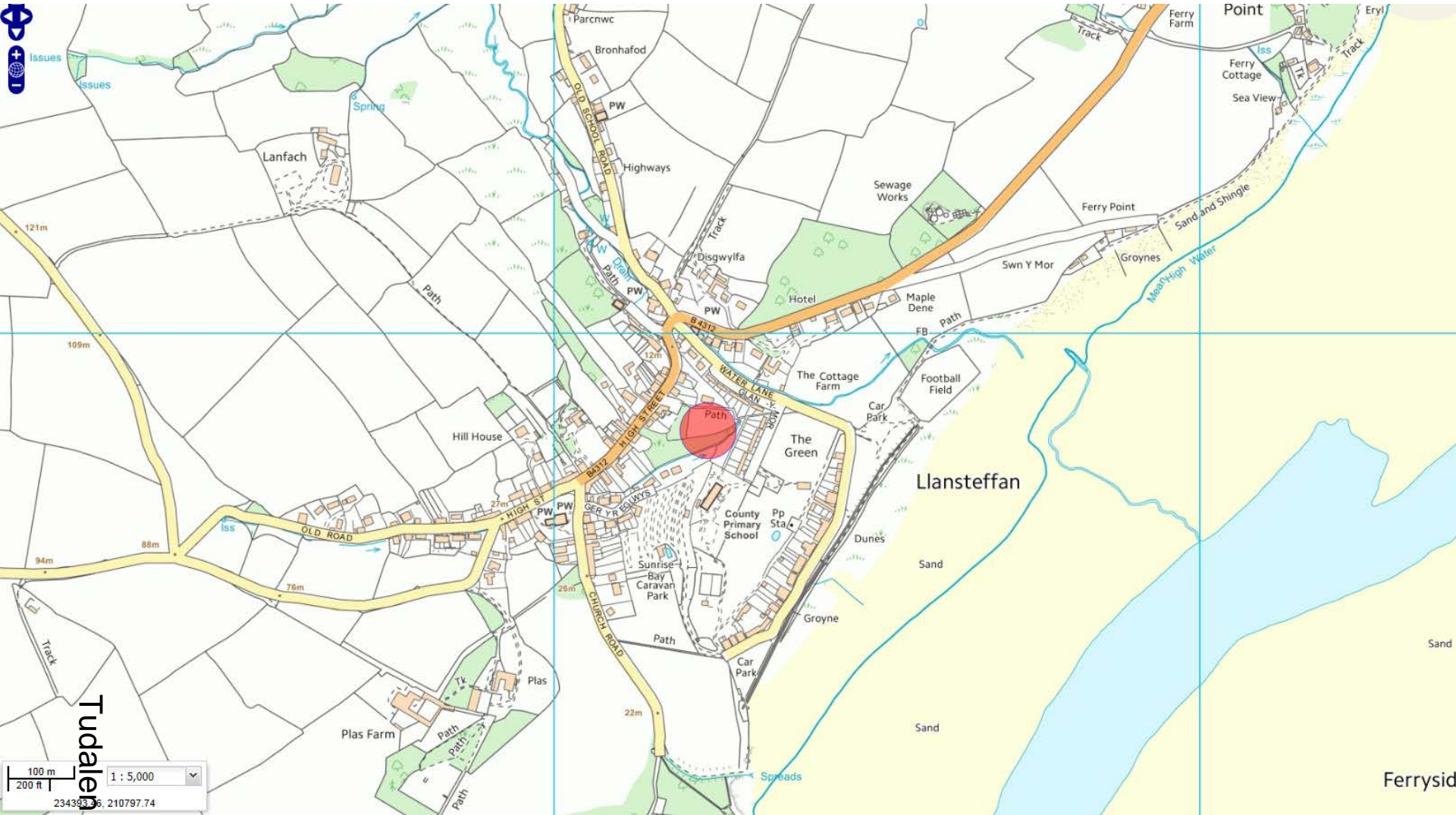
W/31230

Tudalen 90



100 m
200 ft
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W/31230



Tudalen 91

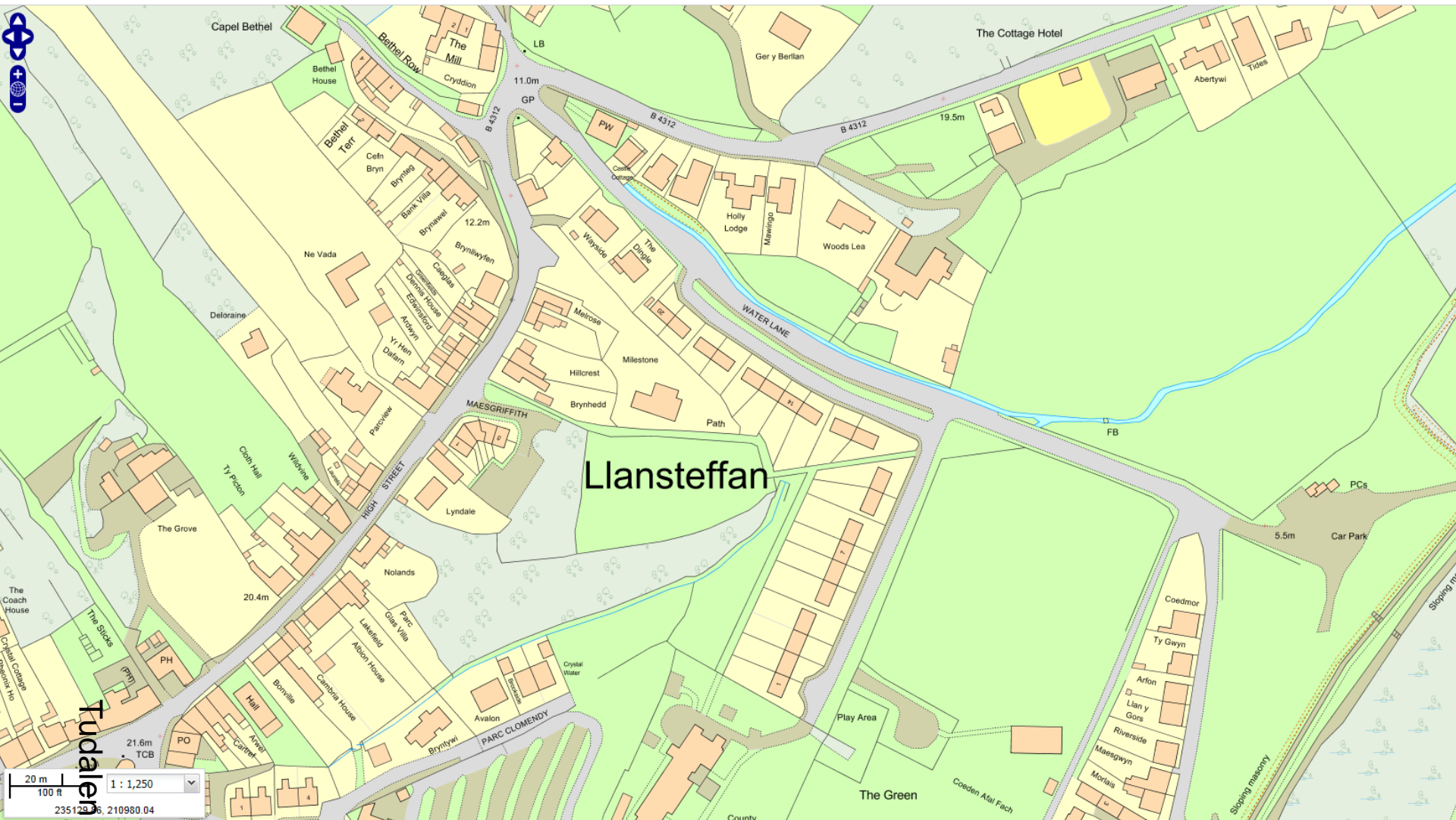
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Tudalen 92



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W/31230



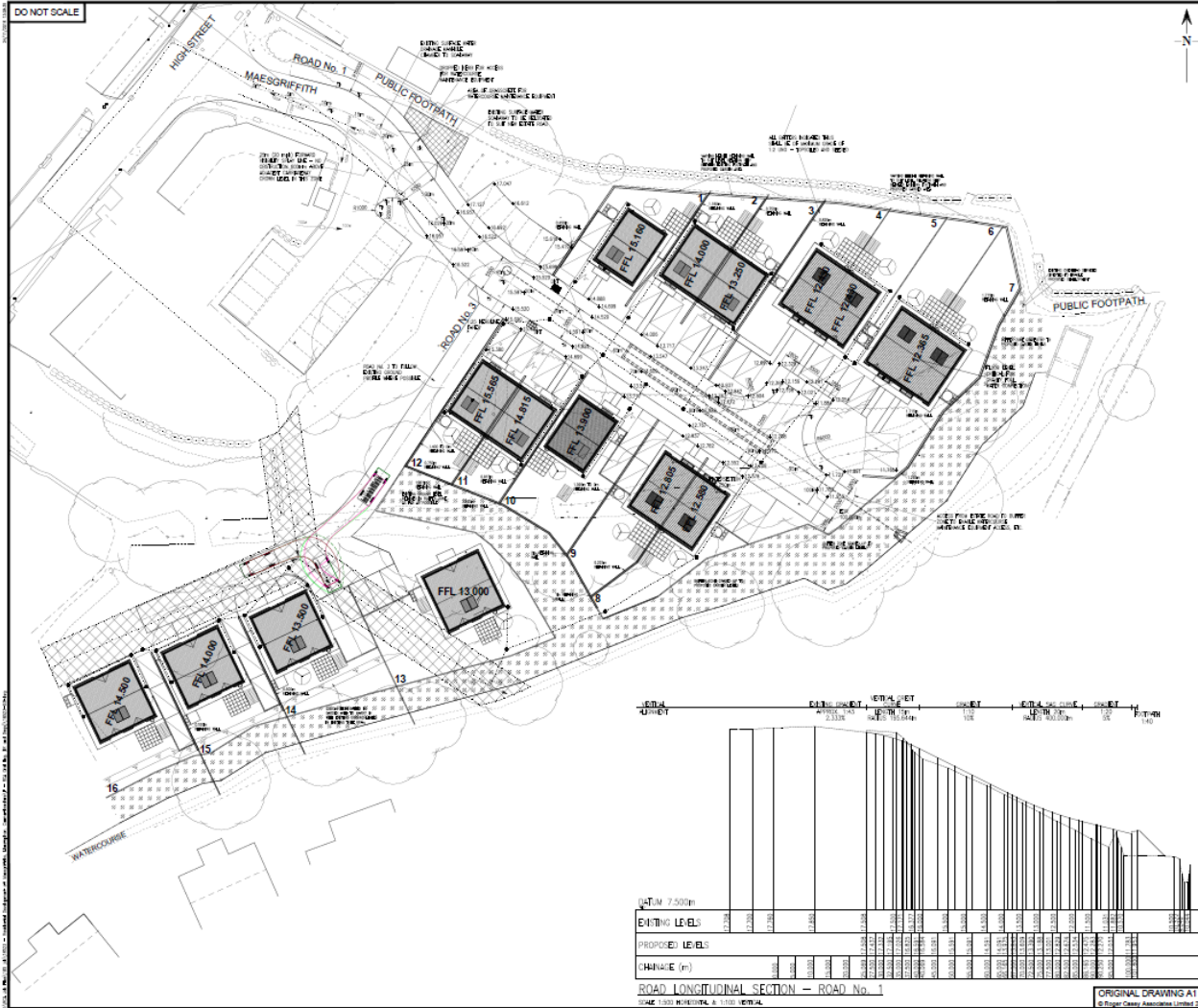
Llansteffan

20 m
100 ft
1 : 1,250
23512306_210980.04

Tudalen 93

W/31230

Tudalen 94



NOTES:

THE PROBERT OF THE DRAWING AND HEREIN SET OUT IN RULES AND REGULATIONS AND NOT BE USED IN CONNECTION WITH ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF ROGER CASEY ASSOCIATES.

THE CONTRACTOR IS TO CHECK ALL LEVELS AND DIMENSIONS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE CONSULTANT.

WORK TO BE DONE IN ACCORDANCE WITH THE DRAWING.

THE DRAWING IS TO BE USED IN CONNECTION WITH ALL THE WORK UNDER AGREEMENT, CONTRACT AND SPECIFICATIONS RELATING TO THE PROJECT.

ALL FINISH LEVELS ARE RELATED TO LAND SURVEY DATA AS NOTED ON THIS DRAWING UNLESS OTHERWISE STATED.

ALL FINISH DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS.

LEGEND:

- 1. PROPOSED FINISH ROAD LEVELS
- 2. EXISTING FINISH ROAD LEVELS
- 3. DIMENSIONED COUNTY COUNCIL HIGHWAY SPECIFICATIONS
- 4. DIMENSIONED FINISH LEVELS TO ROAD AND SIDEWALK
- 5. FINISH LEVELS
- 6. FINISH ROAD AND STREET WORKS AT HEAD AND FOOT LEVELS ONLY
- 7. ROAD PROFILE

IT IS NOTED THAT EXISTING UTILITIES, CONDUITS, UNDERGROUND SERVICES AND SERVICES TO BE INSTALLED ARE NOT SHOWN AND THE CONTRACTOR SHALL CHECK FOR ALL NECESSARY INFORMATION WITH THE LOCAL AUTHORITY BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE CONSULTANT.

NO.	DATE	DESCRIPTION	BY	CHECKED
1	12/11/20	ISSUED FOR TENDER	AW	AW
2	12/11/20	ISSUED FOR TENDER	AW	AW
3	12/11/20	ISSUED FOR TENDER	AW	AW
4	12/11/20	ISSUED FOR TENDER	AW	AW
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11	12/11/20	ISSUED FOR TENDER	AW	AW
12	12/11/20	ISSUED FOR TENDER	AW	AW
13	12/11/20	ISSUED FOR TENDER	AW	AW
14	12/11/20	ISSUED FOR TENDER	AW	AW
15	12/11/20	ISSUED FOR TENDER	AW	AW
16	12/11/20	ISSUED FOR TENDER	AW	AW

PLANNING

Roger Casey Associates
Consulting Civil & Structural Engineers

To: Maxwell 6 Market Street Carmarthen Carmarthenshire SA31 1TW
Tel: +44 (0) 1292 22 35 45
Fax: +44 (0) 1292 22 13 77
Email: info@rogercasey.co.uk

CLIENT:
CARMARTHENSIRE COUNTY COUNCIL

APPROVED:
LEWIS PARTNERSHIP LLANELLI

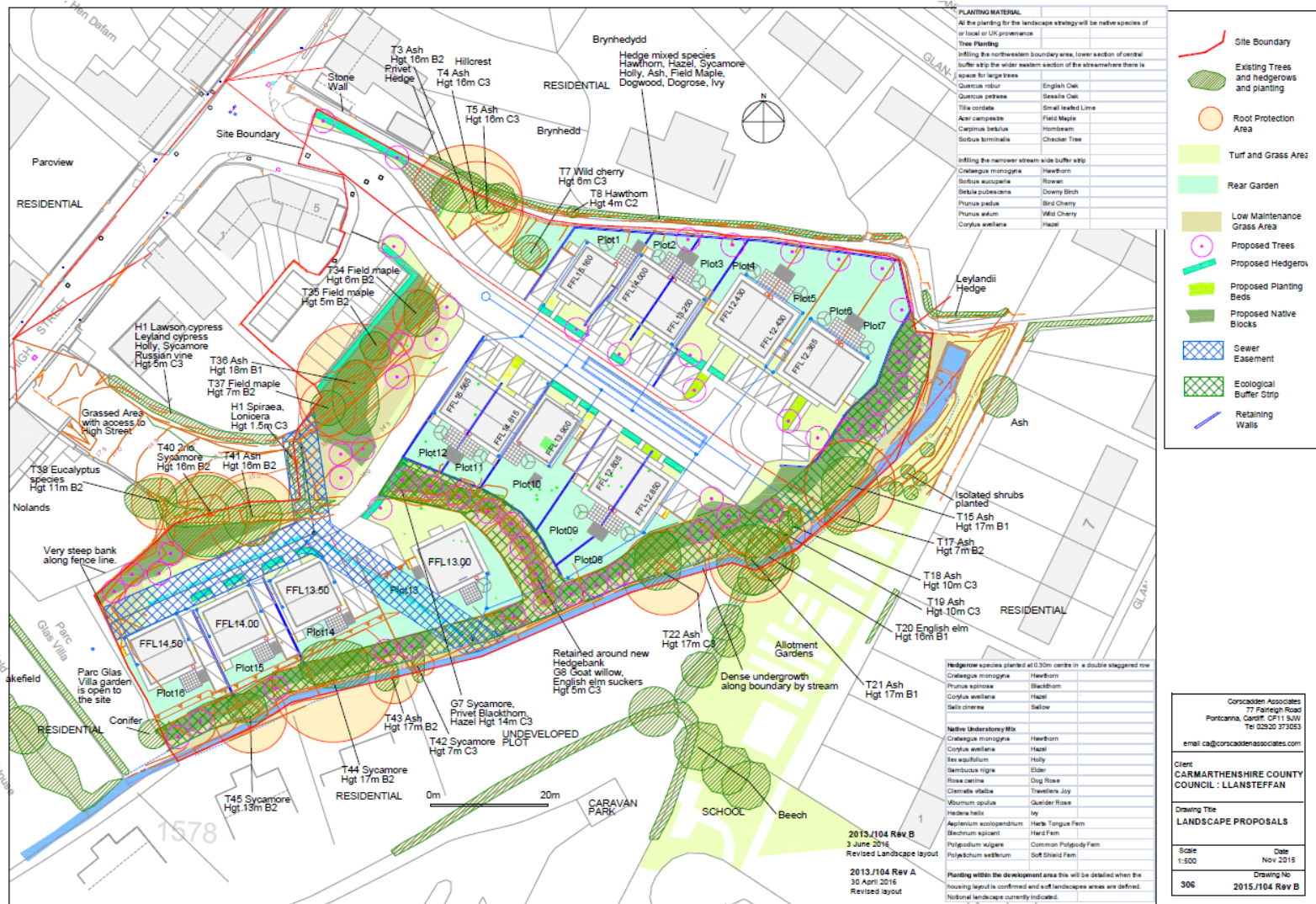
PROJECT:
RESIDENTIAL DEVELOPMENT OFF MAESGRIFFITH, LLANSTEFFAN, CARMARTHENSIRE SA33 5JW

DRAWING TITLE:
ENGINEERING SITE PLAN (LEVELS)

DATE:	22/08/14
DESIGNED BY:	PWLL
CHECKED BY:	PWLL
APPROVED BY:	RSC
DRAWING NO.:	18523/03
SCALE:	E

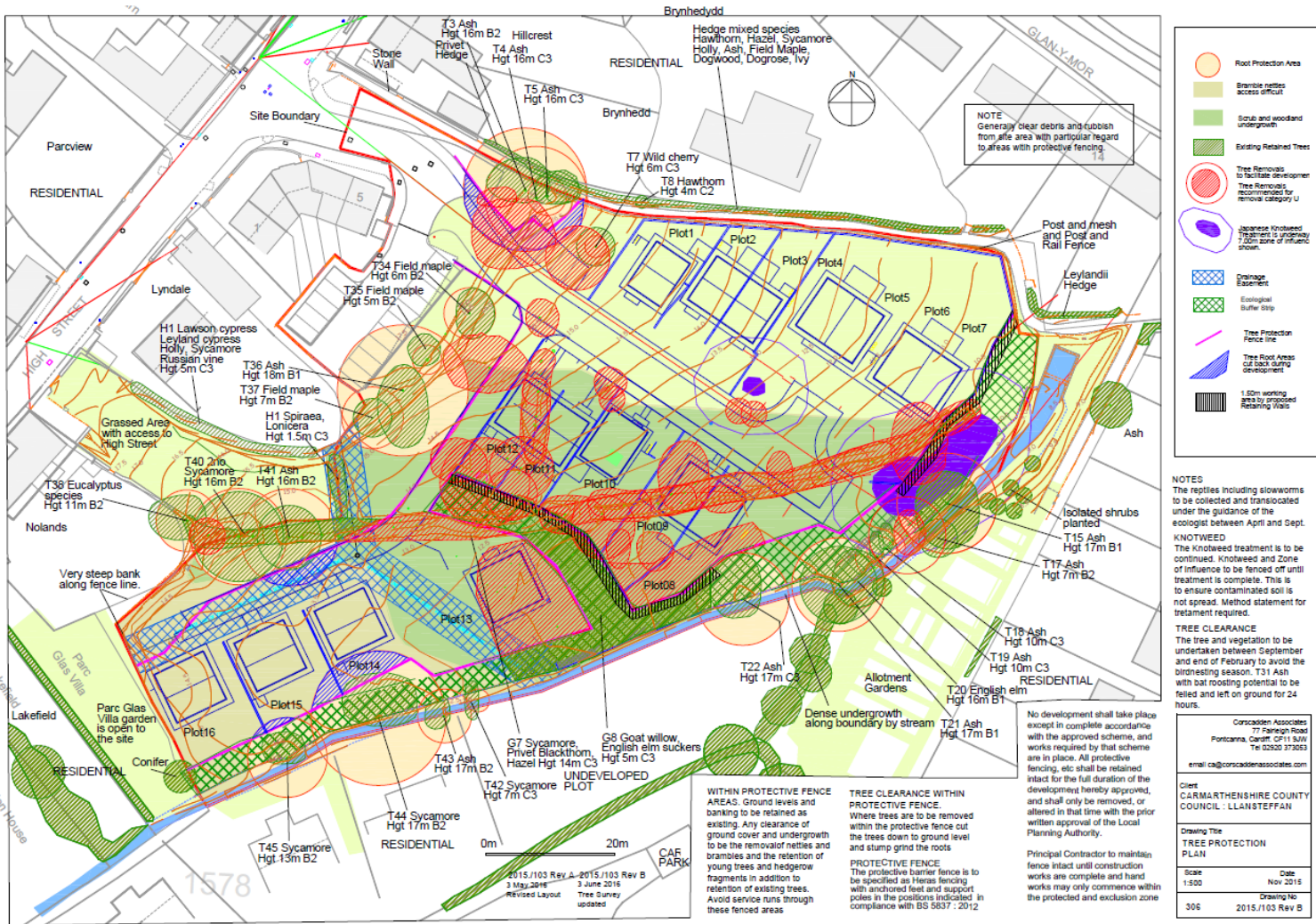
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Tudalen 95

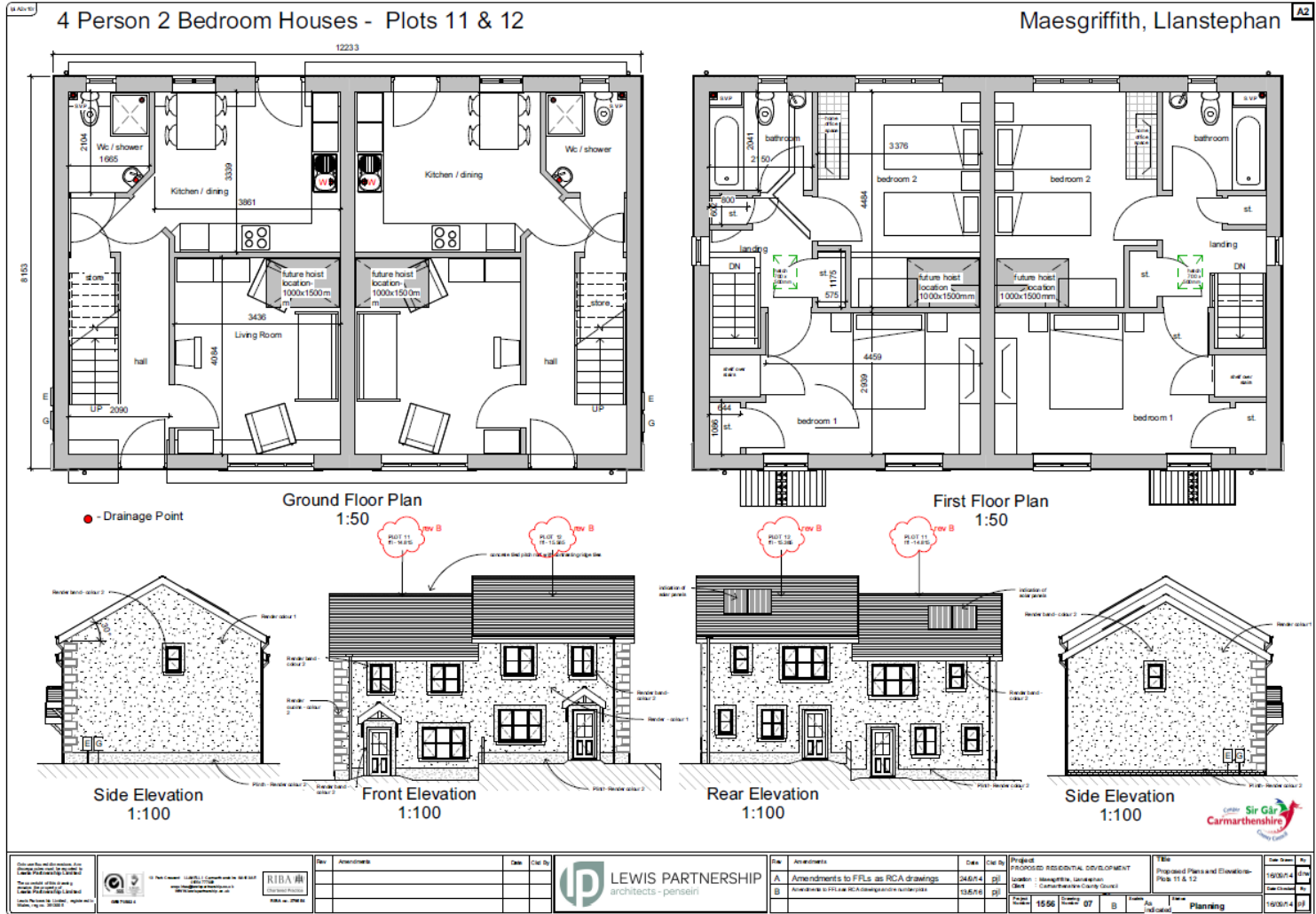


W/31230

Tudalen 96



W/31230

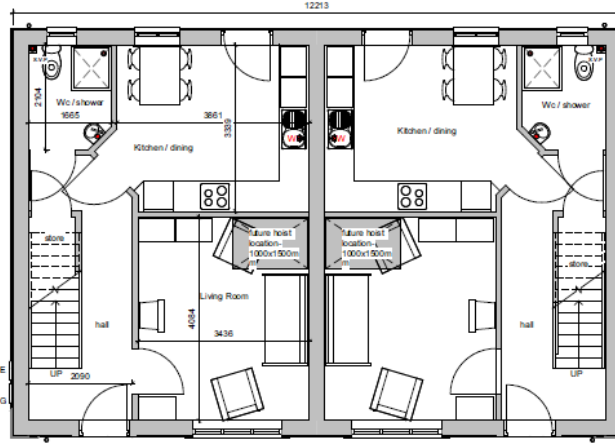


W/31230

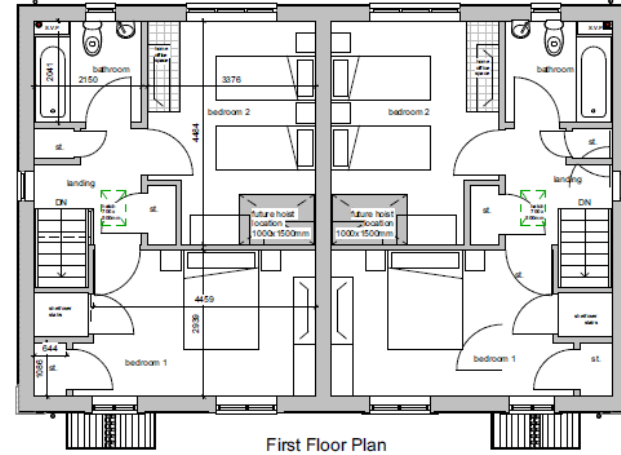
Tudalen 98

4 Person 2 Bedroom Houses - Plots 2 & 3

Maesgriffith, Llanstephan A2

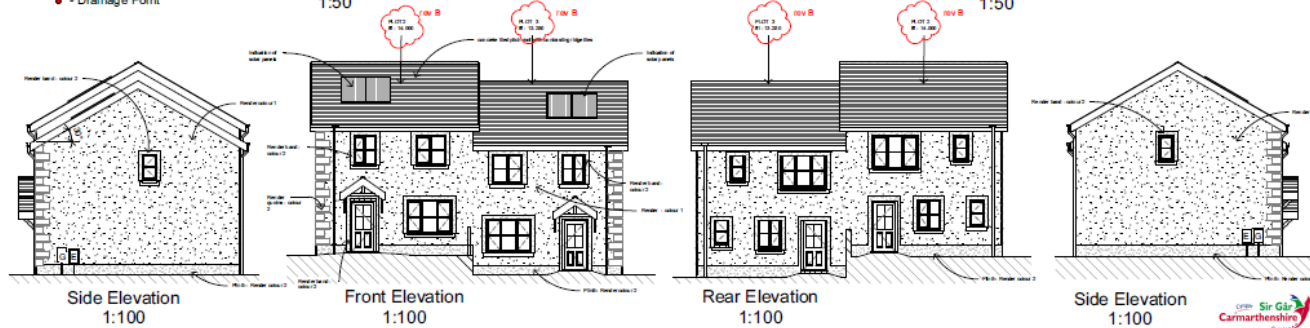


Ground Floor Plan
1:50



First Floor Plan
1:50

• - Drainage Point



Side Elevation
1:100

Front Elevation
1:100

Rear Elevation
1:100

Side Elevation
1:100

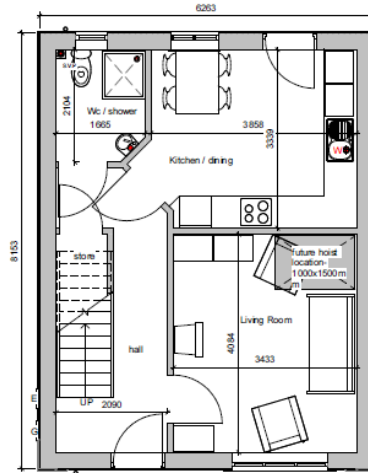


<p>Colwyn Griffiths Architects, Ltd. 10, The Quadrant, Llanstephan, Carmarthen, SA31 3JG Tel: 01292 333333 www.colwyngriffiths.co.uk</p>	<p>RDIA 10 Registered Professional 10/05/2018</p>	Rev	Amendments	Date	Drawn	Checked	Project	Proposed Plans and Development
		A	Amendments to file in accordance with RCA. (add's)	25/5/18	gg	gg	1566	1566
<p>LEWIS PARTNERSHIP architects - planners</p>		B	Amendments to file in accordance with RCA. (add's)	13/5/18	gg	gg	1566	1566
<p>1566</p>		<p>1566</p>		<p>1566</p>		<p>1566</p>		<p>1566</p>

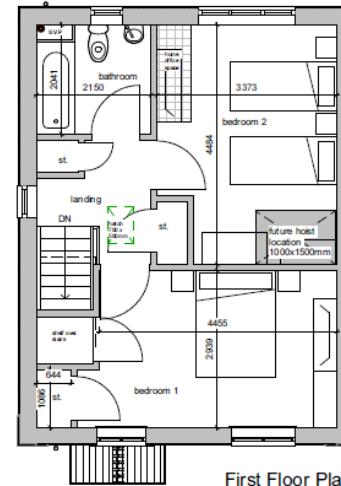
W/31230

4 Person 2 Bedroom Houses - Plots 1 & 10

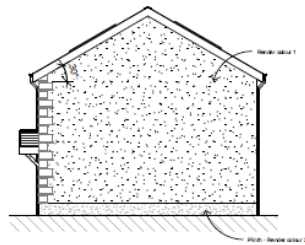
Maesgriffith, Llanstephan A2



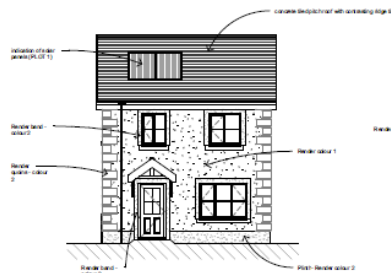
Ground Floor Plan
1:50



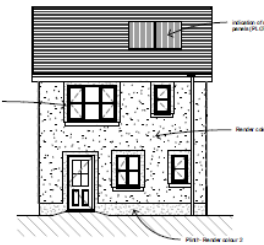
First Floor Plan
1:50



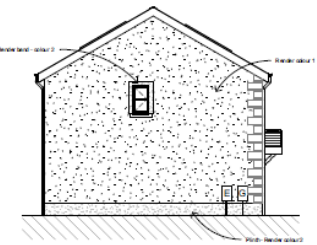
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1:100



Front Elevation
1:100



Rear Elevation
1:100



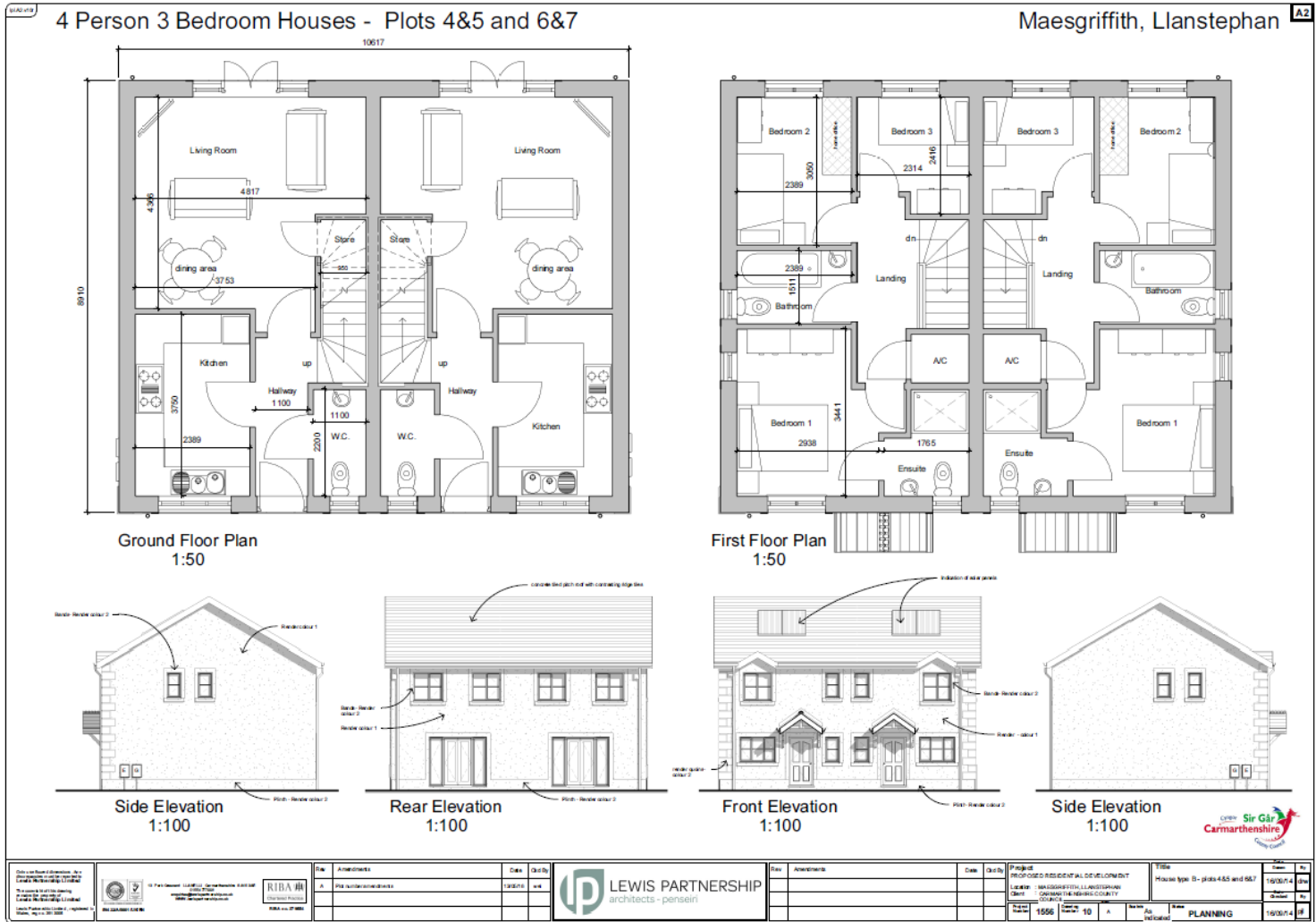
Side Elevation
1:100



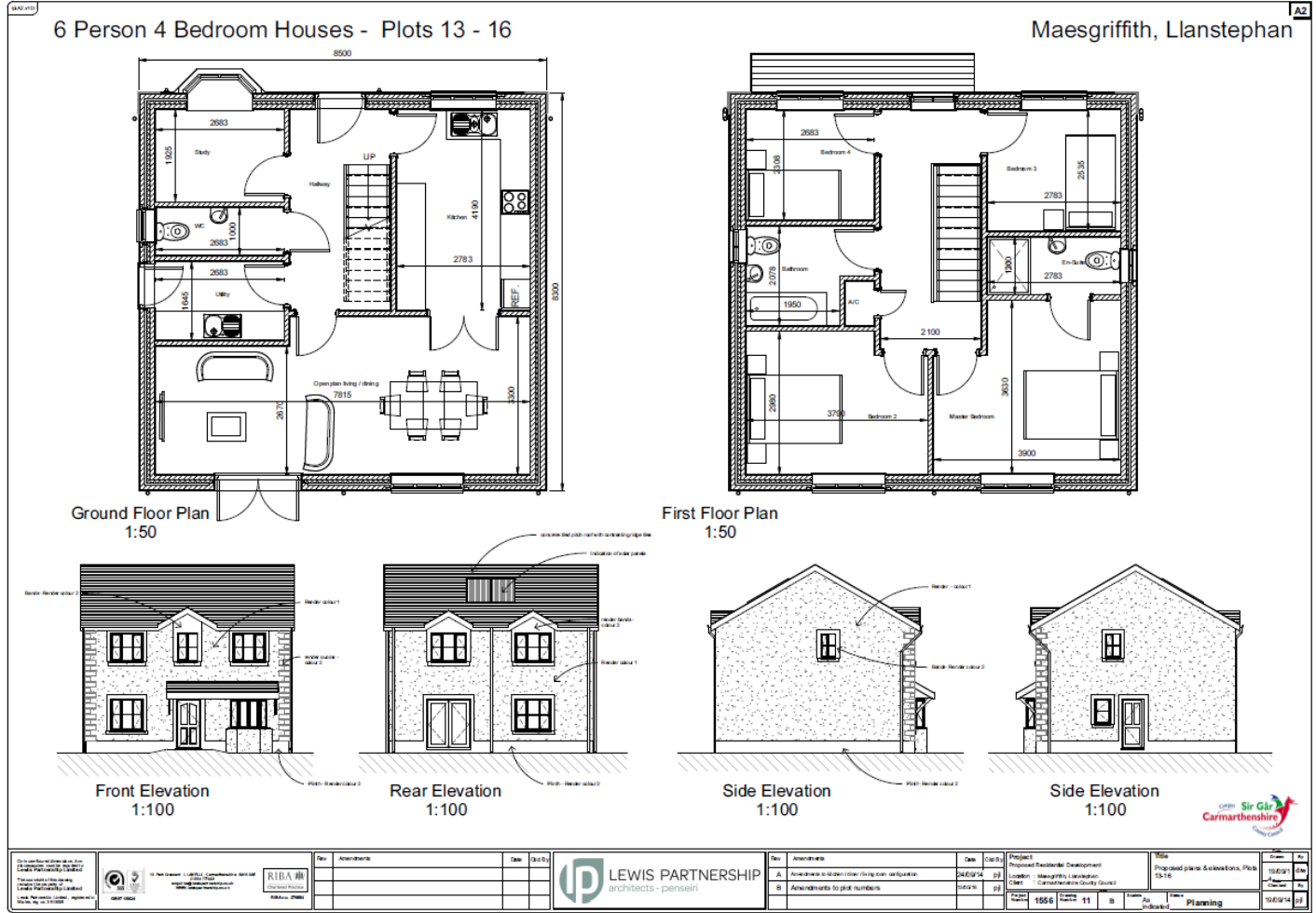
<p>Drawn and checked by: [Name]</p> <p>Checked by: [Name]</p> <p>Project: [Name]</p>		Rev: A	Amendments: Change of Use (B10)	Date: 15/03/14	Drawn By: [Name]	<p>Project: PROPOSED RESIDENTIAL DEVELOPMENT</p> <p>Location: Maesgriffith, Llanstephan</p> <p>Client: Carmarthenshire County Council</p>	<p>Title: Proposed Plans and Elevations - Plots 1 & 10</p>	Rev: 01
		Rev: B	Amendments:	Date:	Drawn By:			Rev: 02
		<p>Project: 15/06</p> <p>Rev: 09</p> <p>Scale: A</p> <p>Author: [Name]</p> <p>Date: 15/03/14</p>	<p>Project: PROPOSED RESIDENTIAL DEVELOPMENT</p> <p>Location: Maesgriffith, Llanstephan</p> <p>Client: Carmarthenshire County Council</p>	<p>Title: Proposed Plans and Elevations - Plots 1 & 10</p>	<p>Rev: 01</p>			

W/31230

Fudalen 100



W/31230



W/31230

Edalen 102



W/31230



Tudalen 103

W/31230

Engdalen 104



W/31230



Tudalen 105

W/31230

Fudalen 106



W/31230



Tudalen 107

W/31230

Edgaleen 108



W/31230



Tudalen 109

W/31230

Tudalen 110

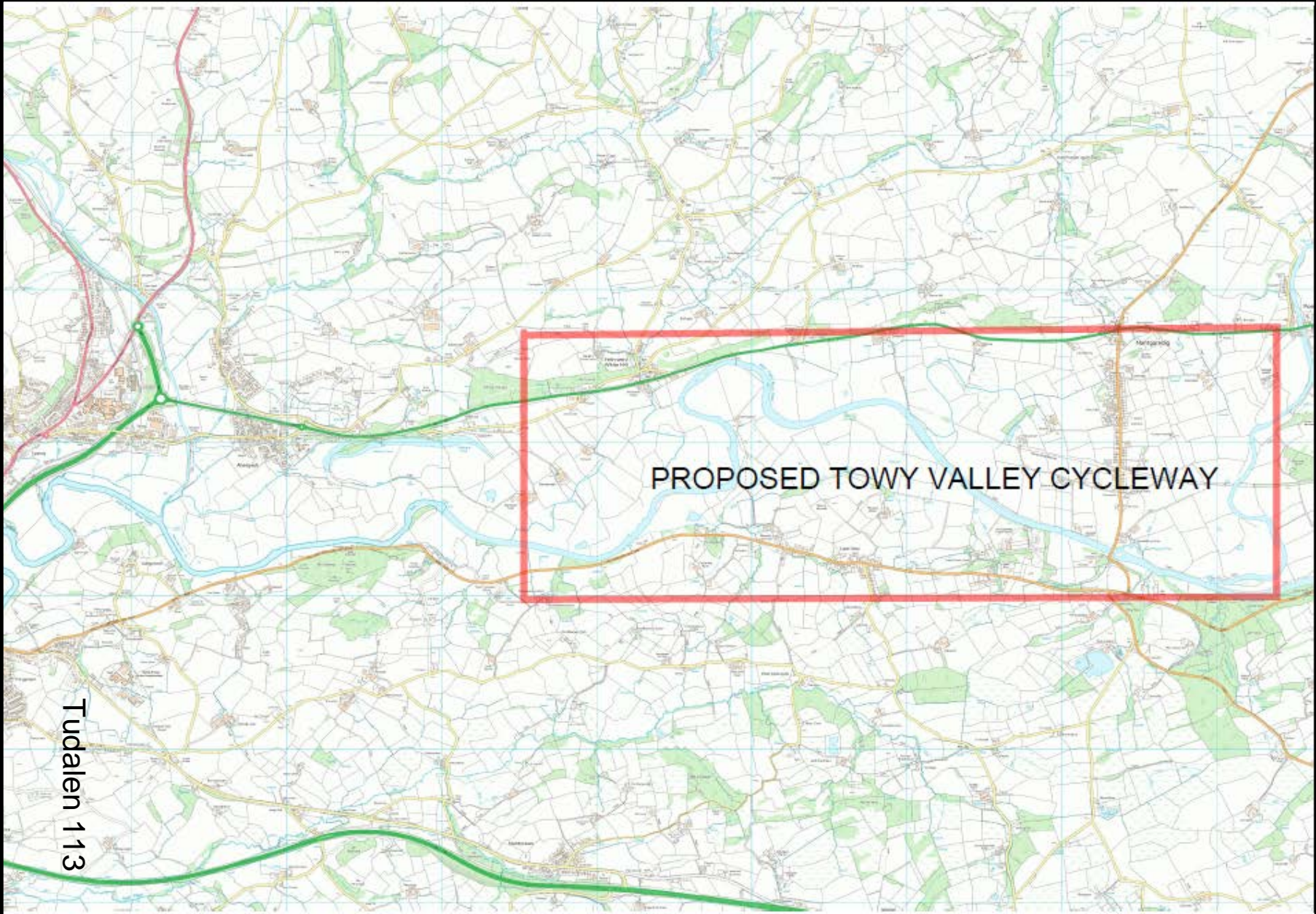


W/31230



Tudalen 111

W/34225



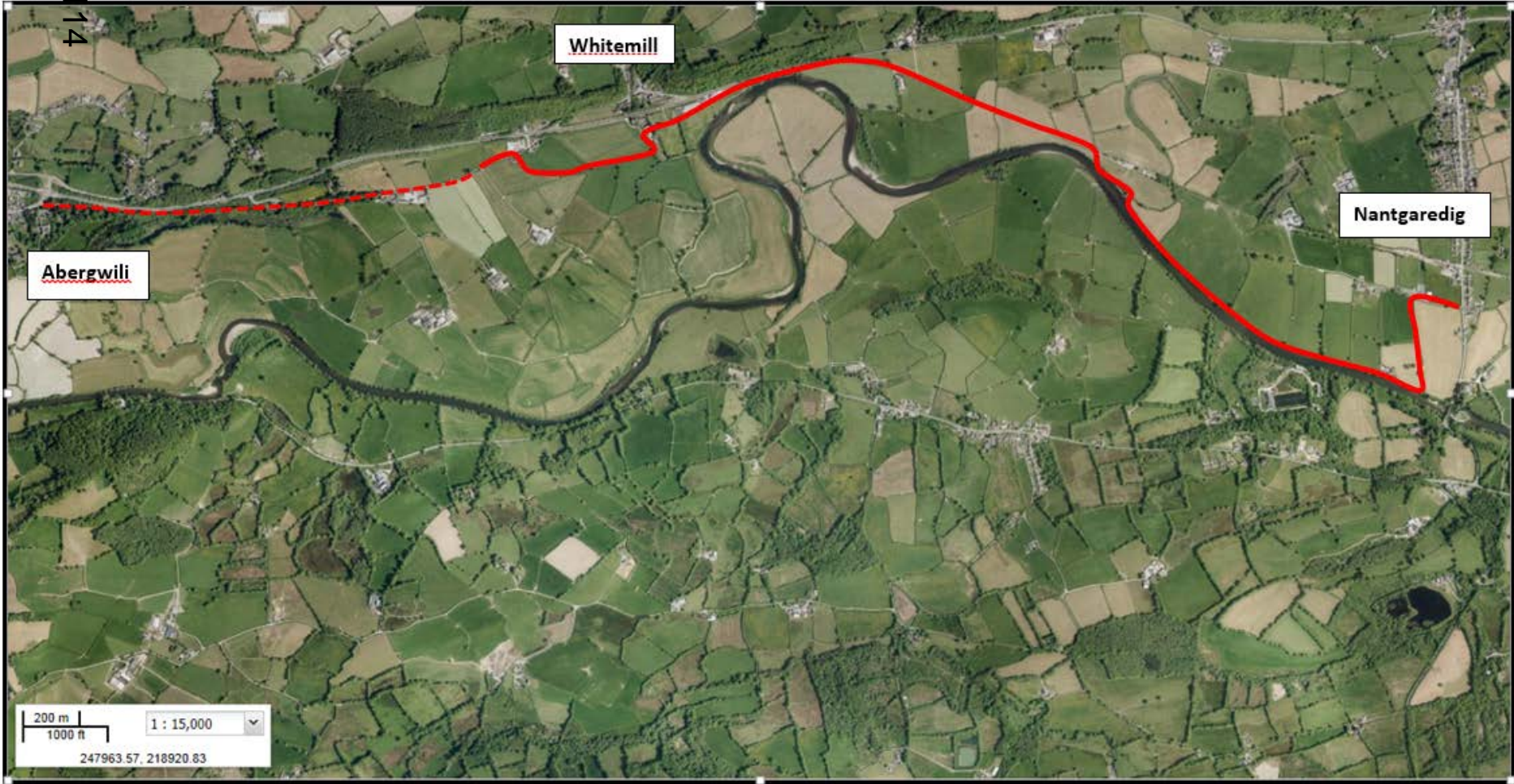
PROPOSED TOWY VALLEY CYCLEWAY

Tudalen 113

W/34225

Aerial Photograph

Tudalen 114



Whitemill

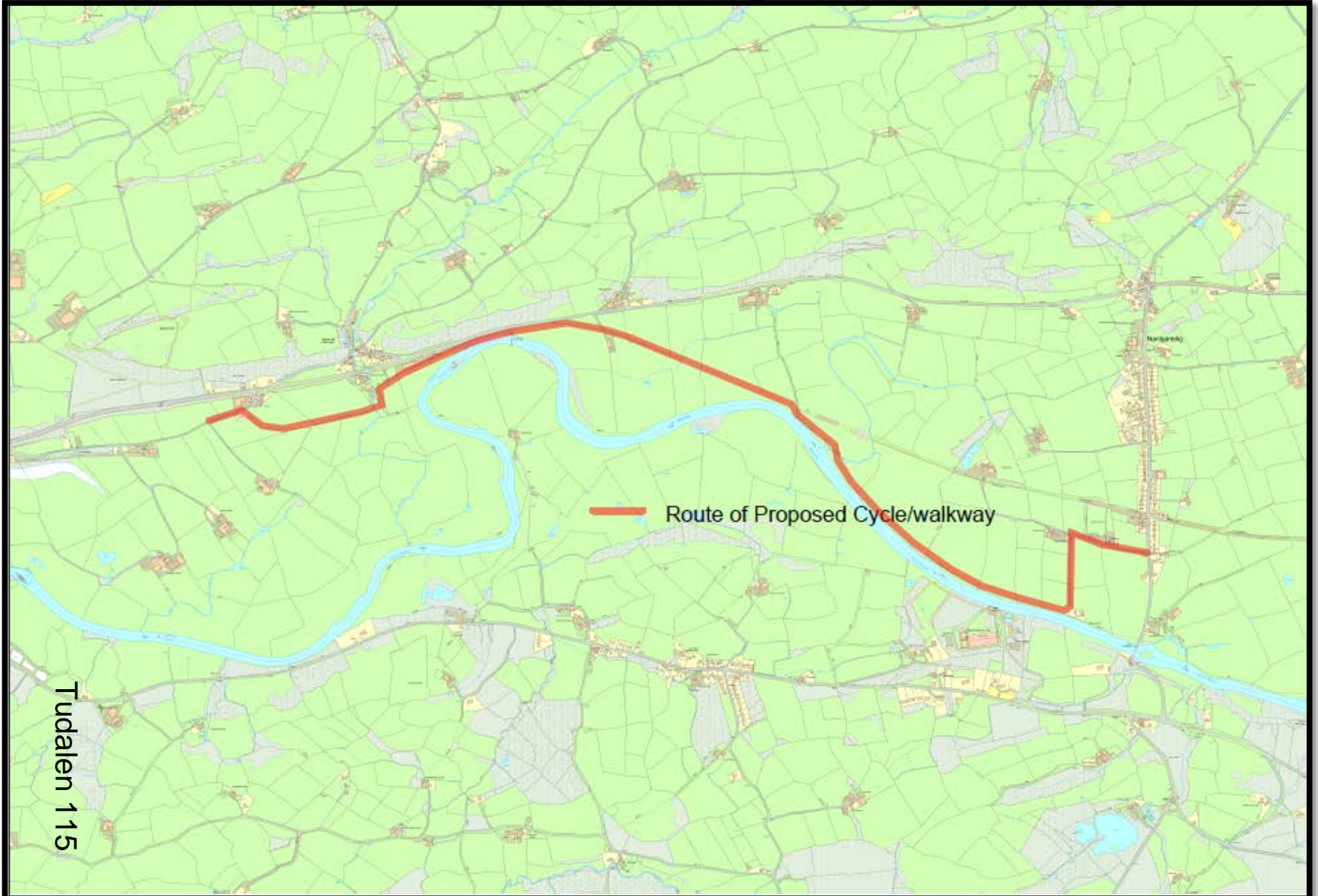
Abergwili

Nantgaredig

200 m
1000 ft
1 : 15,000
247963.57, 218920.83

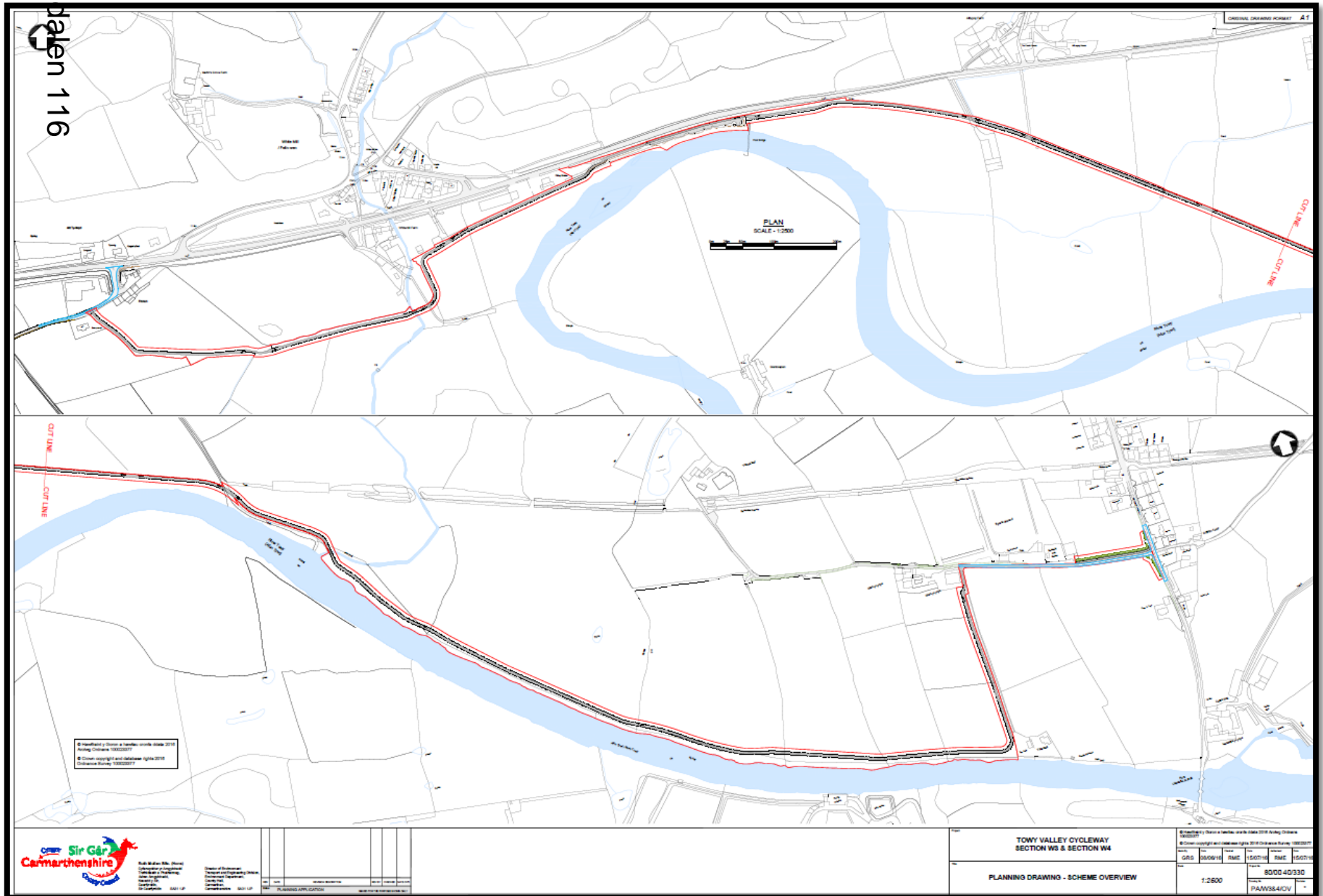
W/34225

Proposed Route

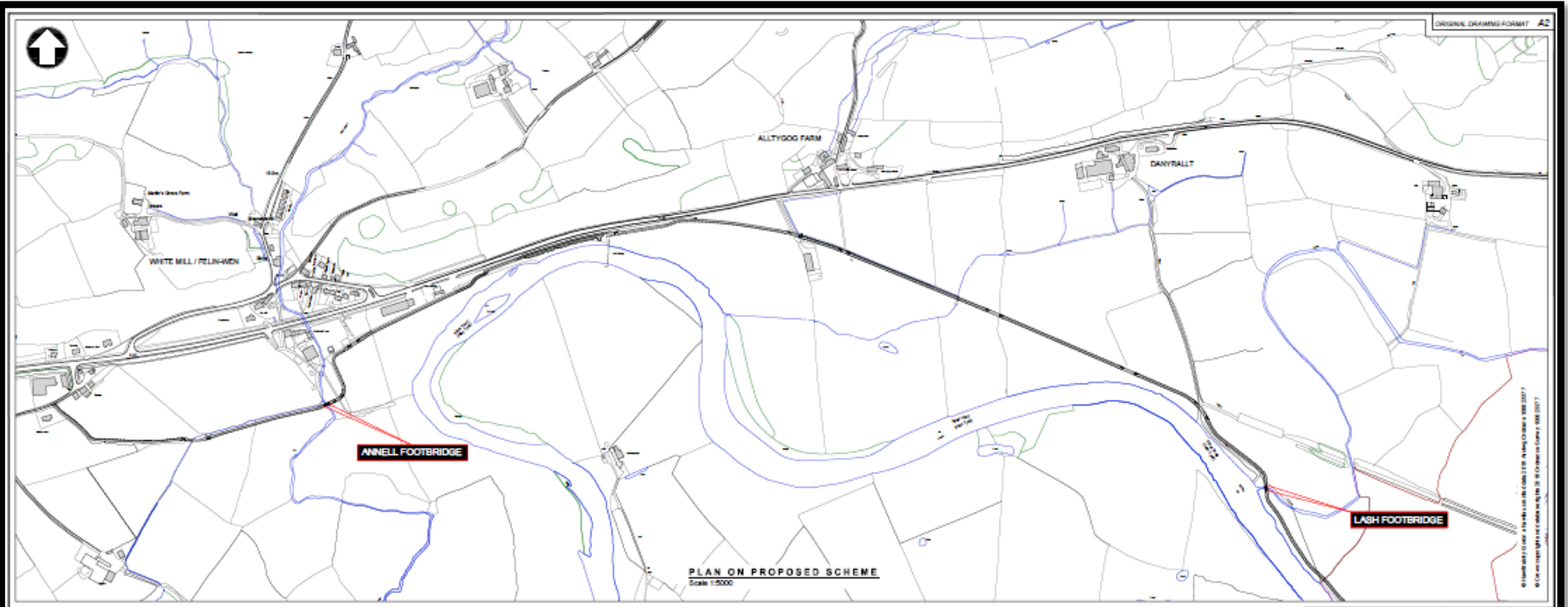


W/34225

Scheme Overview



W/34225 Proposed Footbridge Visual Impact Design

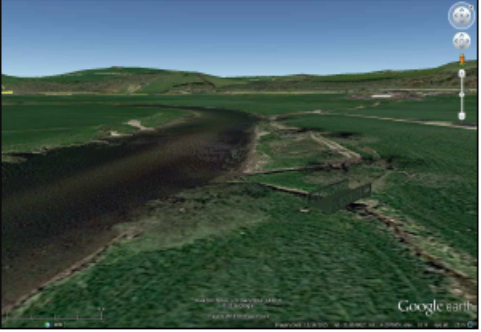


Tudalen 117

ANNELL FOOTBRIDGE
N/S



TYPICAL EXAMPLE OF PROPOSED FOOTBRIDGE



LASH FOOTBRIDGE
N/S

REV	DATE	REVISION DESCRIPTION	REV BY	CHECKED	DATE	DATE

INFORMATION ISSUES FOR THE FUTURE SCHEME ONLY

Ruth Mullen BSc (Hons)
Councillor for Argoed
Transport & Planning,
Adrian Angelides,
Head of S&P,
Carmarthenshire Council,
SA31 1UP

Director of Environment,
Transport and Engineering Division,
Environmental Department,
County Hall,
Carmarthen,
Carmarthenshire SA31 1UP

Project: **TOWY VALLEY TRANSPORT CORRIDOR**

Title: **PROPOSED FOOTBRIDGE VISUAL IMPACT DESIGN**

Drawn by	Date	Checked	Date	Issued by	Date
JBW	15/07/16	RME	15/07/16	RME	15/07/16

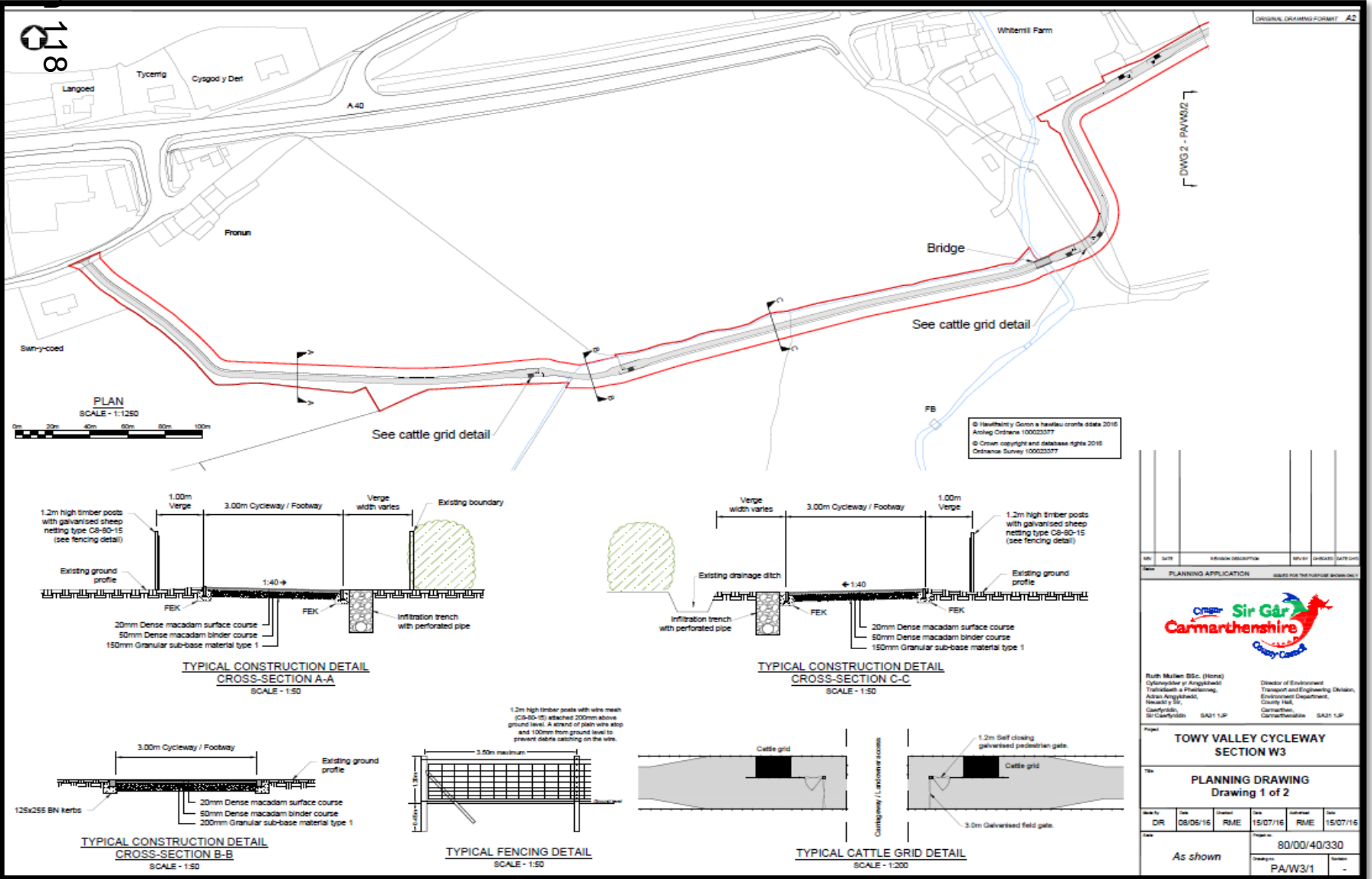
Page No: 80/00 40/330

AS SHOWN

Drawings	Number
PA/VIS_01	-

W/34225 Section W3 : Proposed Plan

(Drawing 1 of 2)



NO.	DATE	REVISION/DESCRIPTION	BY	CHECKED	DATE

PLANNING APPLICATION

Cyngor Sir Gâr
Carmerthenshire
County Council

Ruth Mules BSc (Hons)
Cyclingwriter or Angledwell
Township & Planning,
Aberystwyth,
Neuadd y Sêr,
Caerdydd,
Sir Ceredigion SA31 1UP

Director of Environment
Transport and Engineering Division,
Environment Department,
County Hall,
Cardiff,
Gwent/SA1 1UP

Project: **TOWY VALLEY CYCLEWAY SECTION W3**

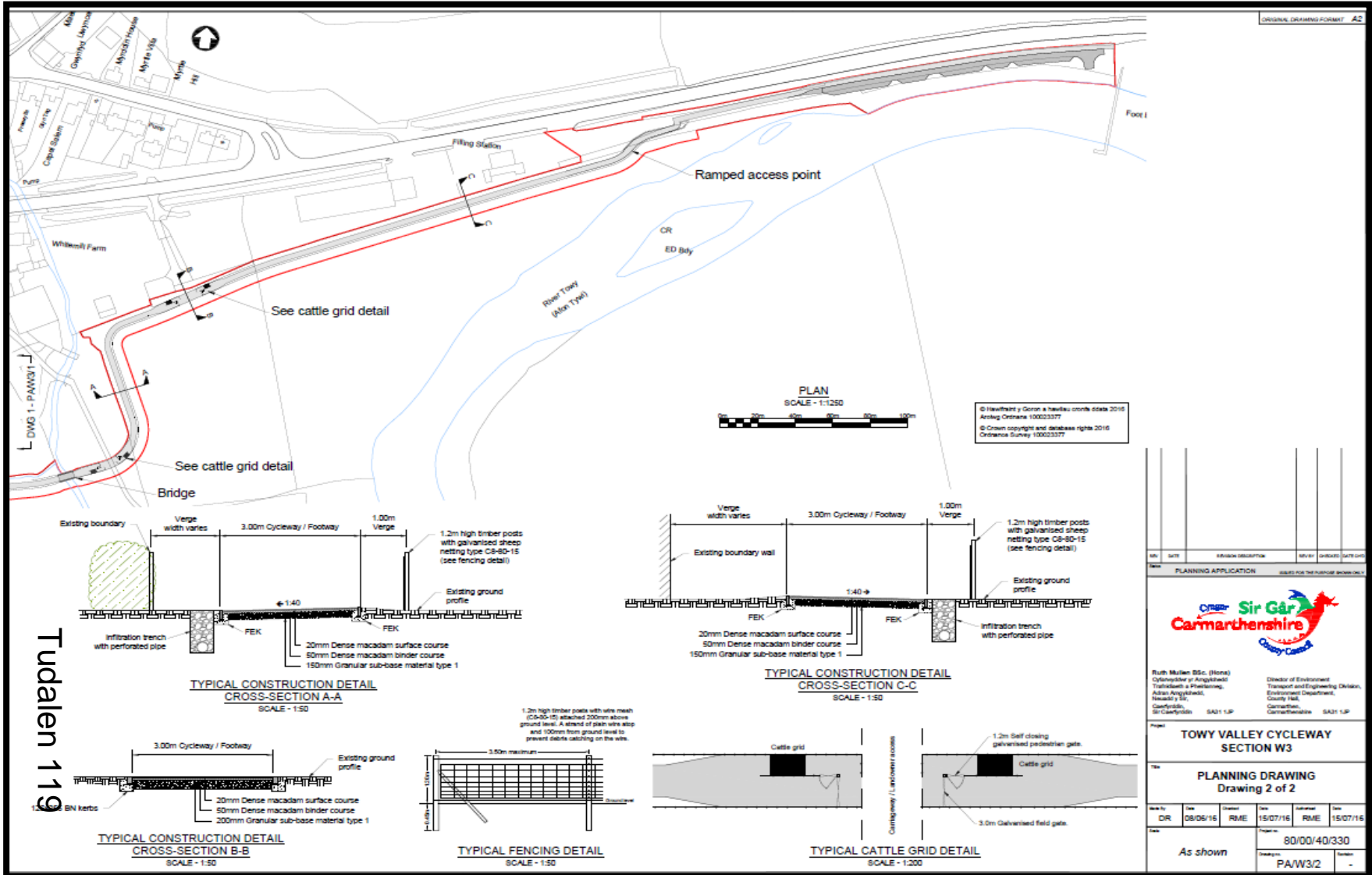
The: **PLANNING DRAWING Drawing 1 of 2**

Marked by	Date	Checked	Date	Issued	Date
DR	08/05/15	RME	15/07/15	RME	15/07/15

As shown

80/00/40/330
PA/W3/1

W/34225 Section W3 : Proposed Plan (Drawing 2 of 2)

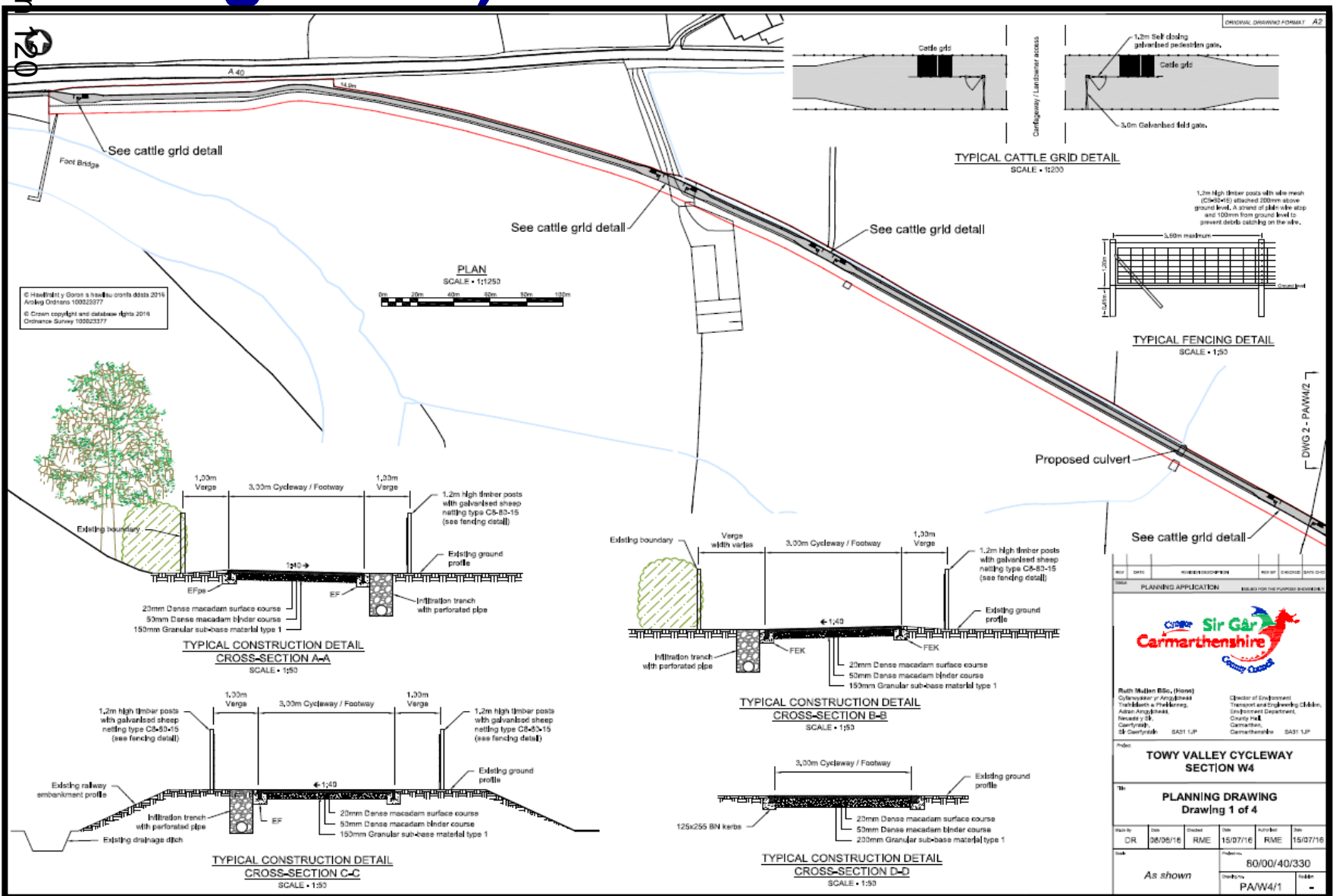


Tudalen 119

NO.	DATE	REVISION/DESCRIPTION	BY	CHECKED	DATE
PLANNING APPLICATION					
Ruth Mullen BSc. (Hons) Cymorthwr yr Angwylod / Traffic Warden & Planning, Adran Angwylod, Newarŷ Sŷ, Caerdydd, Sir Caerdydd SA11 1SP					
Director of Environment, Transport and Engineering Division, Environment Department, County Hall, Newarŷ Sŷ, Caerdydd, Carmarthenshire SA31 1SP					
TOWY VALLEY CYCLEWAY SECTION W3					
PLANNING DRAWING Drawing 2 of 2					
Drawn by	DR	08/05/16	Checked by	RME	15/07/16
Scale	As shown		Project No.	80/00/40/330	
Sheet No.	PAW3/2		Total Sheets	-	

W/34225 Section W4 : Proposed Plan

(Drawing 1 of 4)



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Ordnance Survey 100022377

REV	DATE	REVISION DESCRIPTION	REVISED BY	DATE

PLANNING APPLICATION



Ruth Mullen BSc (Hons)
Cyclewayaker / Anggylwr
Tudalen / Awdalwr
Arian / Angybwr
Tudalen / Awdalwr
Carmarthenshire
S4S 1JP

Director of Environment
Transport and Engineering
Environment Department
County Hall
Carmarthen
Carmarthenshire
S4S 1JP

TOWY VALLEY CYCLEWAY SECTION W4

PLANNING DRAWING
Drawing 1 of 4

REVISED BY	DATE	CREATED BY	DATE	APPROVED BY	DATE
DR	28/08/16	RME	15/07/16	AR	15/07/16

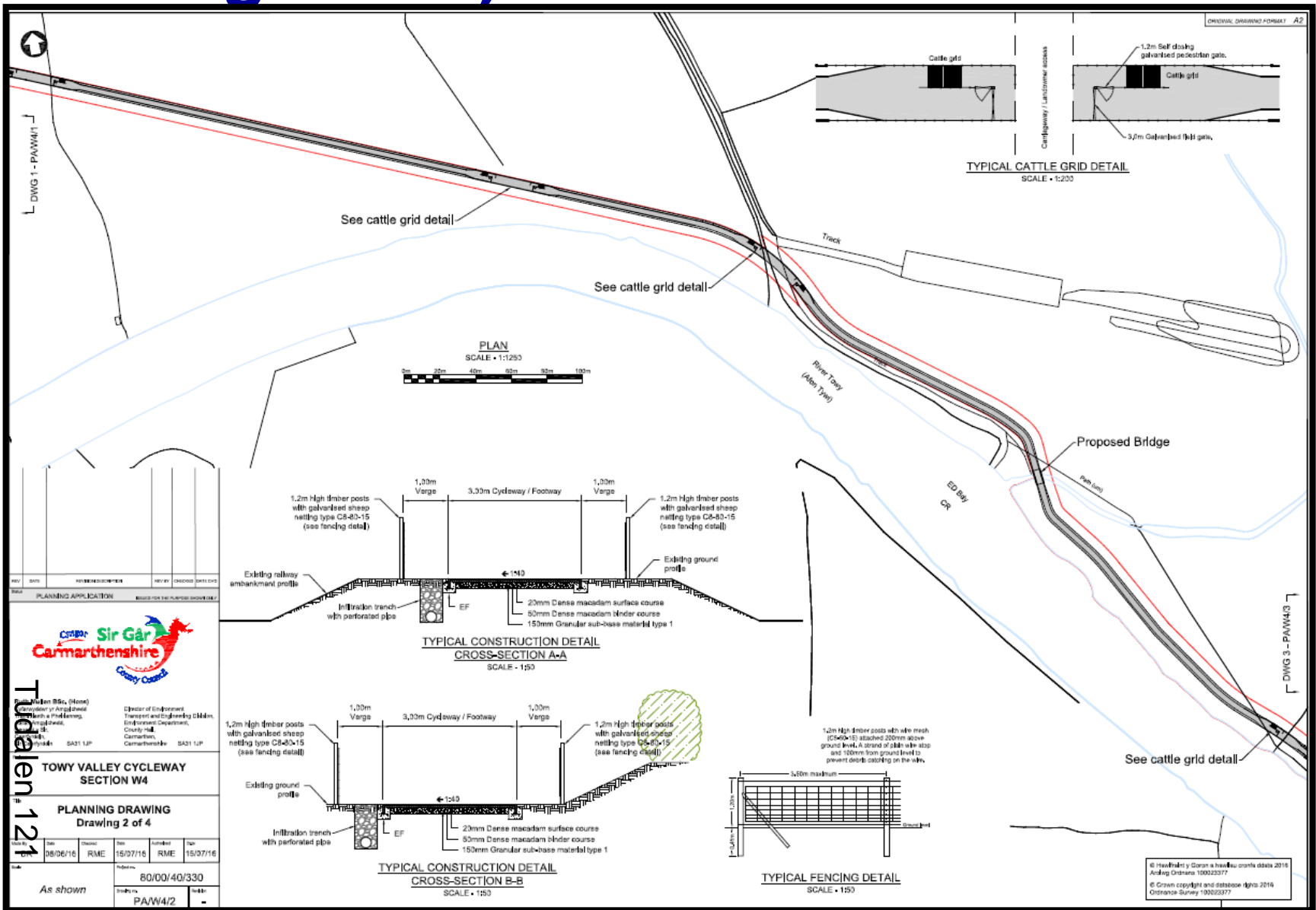
As shown

60/00/40/330

PA/W4/1

W/34225 Section W4 : Proposed Plan

(Drawing 2 of 4)



PLANNING APPLICATION

Toway Valley Cycleway Section W4

PLANNING DRAWING
Drawing 2 of 4

As shown

PAW4/2

80/00/40/330

08/06/16 RME 15/07/16 RME 15/07/16 RME

121

Crystalline Sir Gâr Carmarthenshire County Council

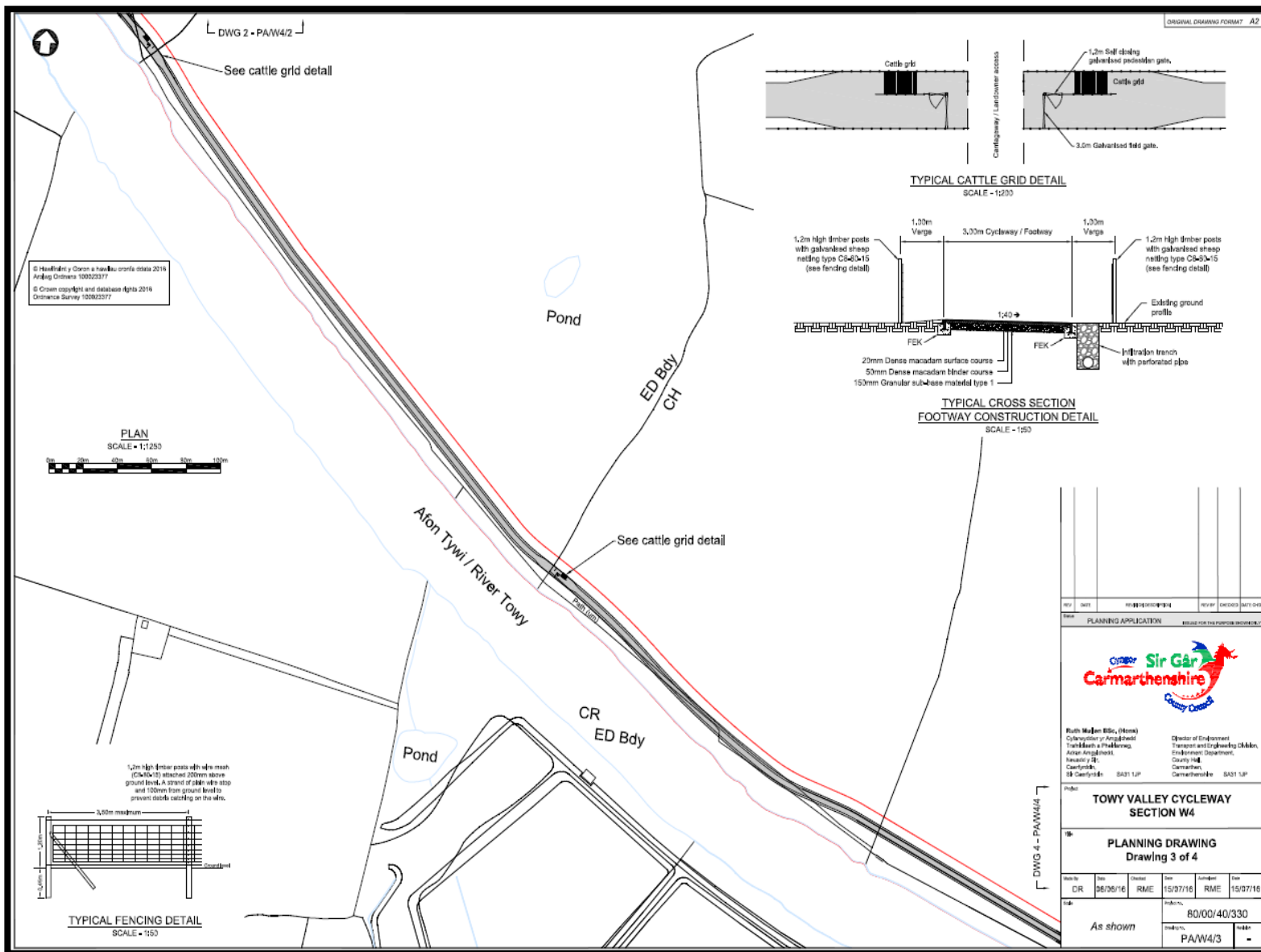
Director of Environment, Transport and Engineering (EM), Engineering Department, County Hall, Carmarthen, Carmarthenshire SA31 1JP

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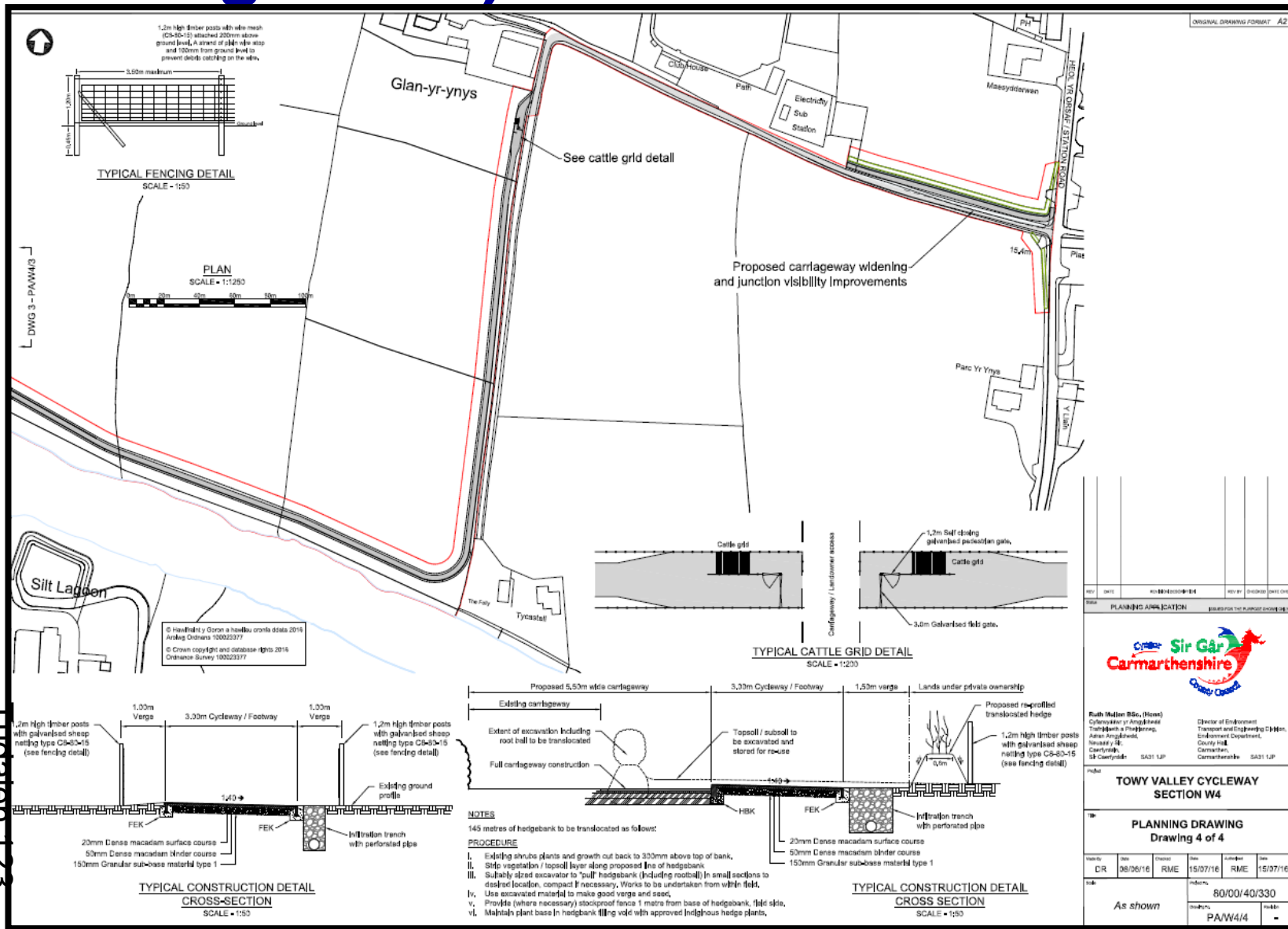
W/34225 Section W4 : Proposed Plan

(Drawing 3 of 4)

Tudalen 122



W/34225 Section W4 : Proposed Plan (Drawing 4 of 4)



Tudalen 123

REF	DATE	BY	CHKD	APP'D
1	15/07/16	RME	AS	AS
PLANNING APPLICATION				

Cymru Sir Gâr Carmarthenshire
Cymdeithas Cymru

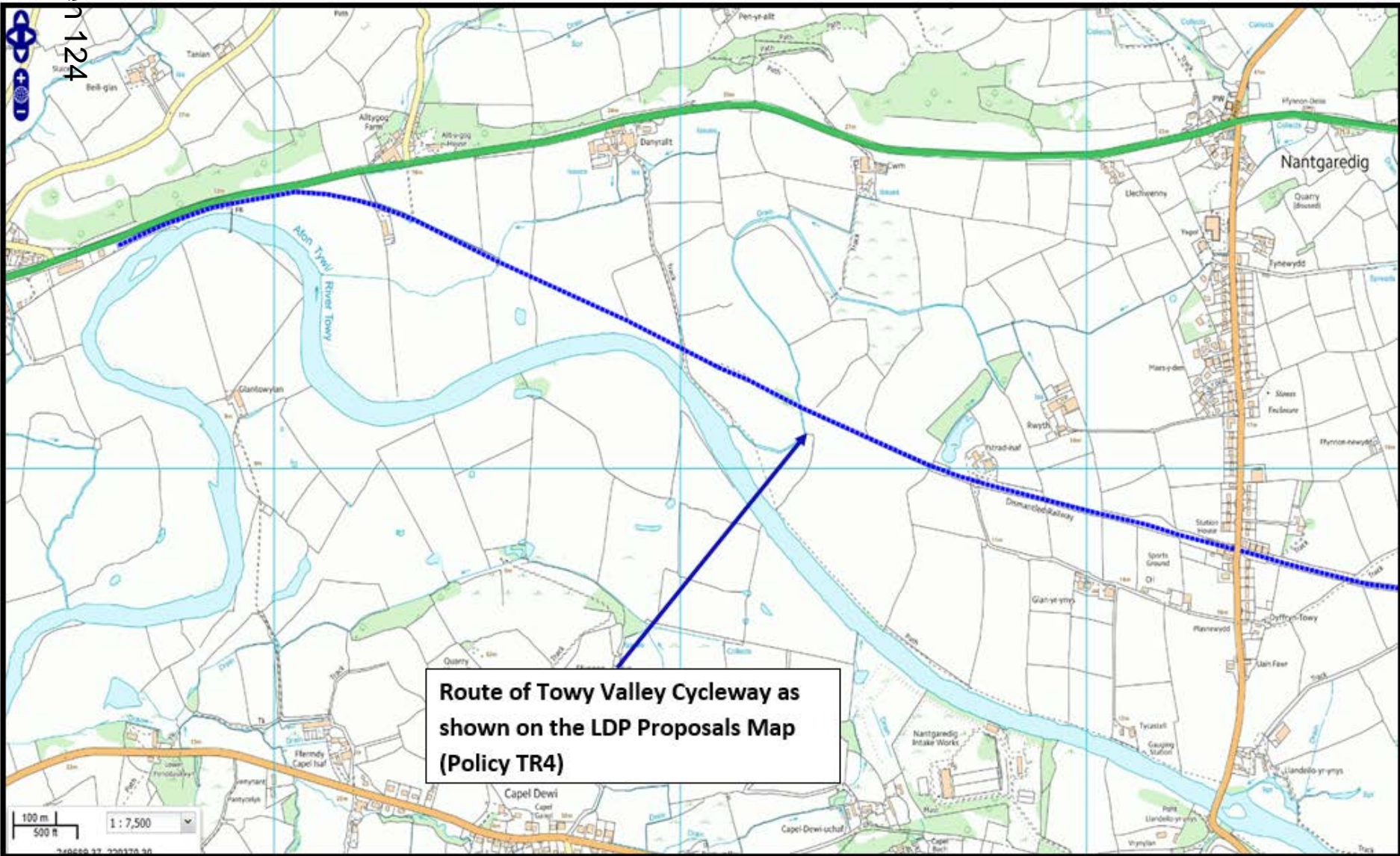
Ruth Mullen BSc, (Hons)
Cymroddwr yr Amgylchedd
Tudalen 123
Amser Amgylchedd,
Nesafwrdd yr
Carmarthenshire,
SA31 1JP

Director of Environment
Transport and Engineering
Environment Department,
County Hall,
Carmarthen,
Carmarthenshire SA31 1JP

TOWY VALLEY CYCLEWAY SECTION W4					
PLANNING DRAWING Drawing 4 of 4					
Issue	Date	Drawn	Checked	Approved	Date
DR	08/06/16	RME	AS	RME	15/07/16
Sub	As shown				60/00/40/330
					PAW4/4

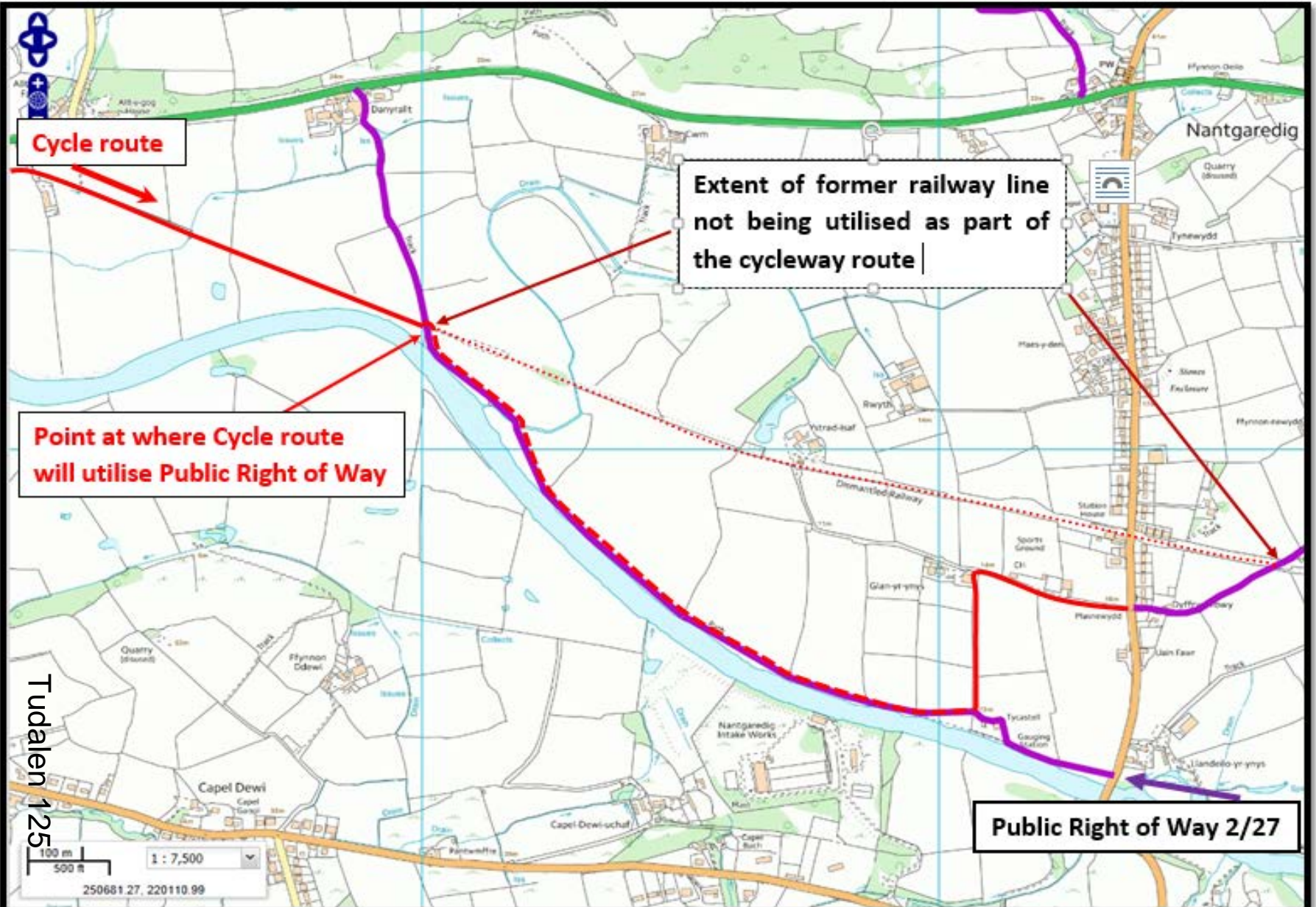
W/34225 : Route of Towy Valley Cycleway in LDP Proposals Map

Tudalen 124



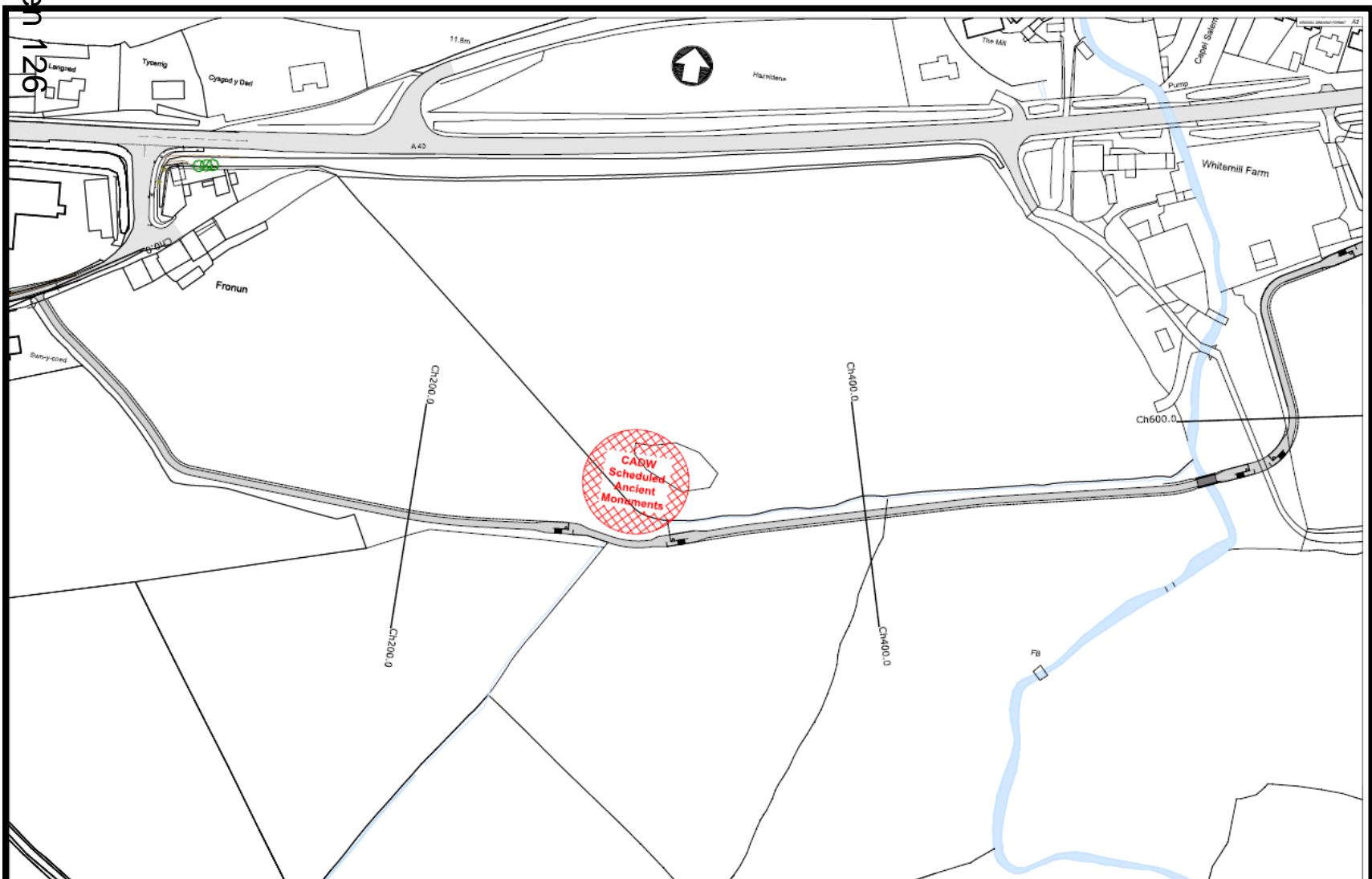
Route of Towy Valley Cycleway as shown on the LDP Proposals Map (Policy TR4)

W/34225 : Route of Cycleway in relation to Public Right of Way



W/34225 : Location of Scheduled Ancient Monument Site

Tudalen 126



Cwm Sir Gar
Carmarthenshire

North of the River
Carmarthenshire
Planning and Development
Planning Department
Carmarthen
SA31 2YU
Tel: 01292 523434
Fax: 01292 523435
Email: planning@cwmsirgar.gov.uk

Map of the Region
Carmarthenshire
Carmarthen
SA31 2YU
Tel: 01292 523434
Fax: 01292 523435
Email: planning@cwmsirgar.gov.uk

TYWI VALLEY PATH

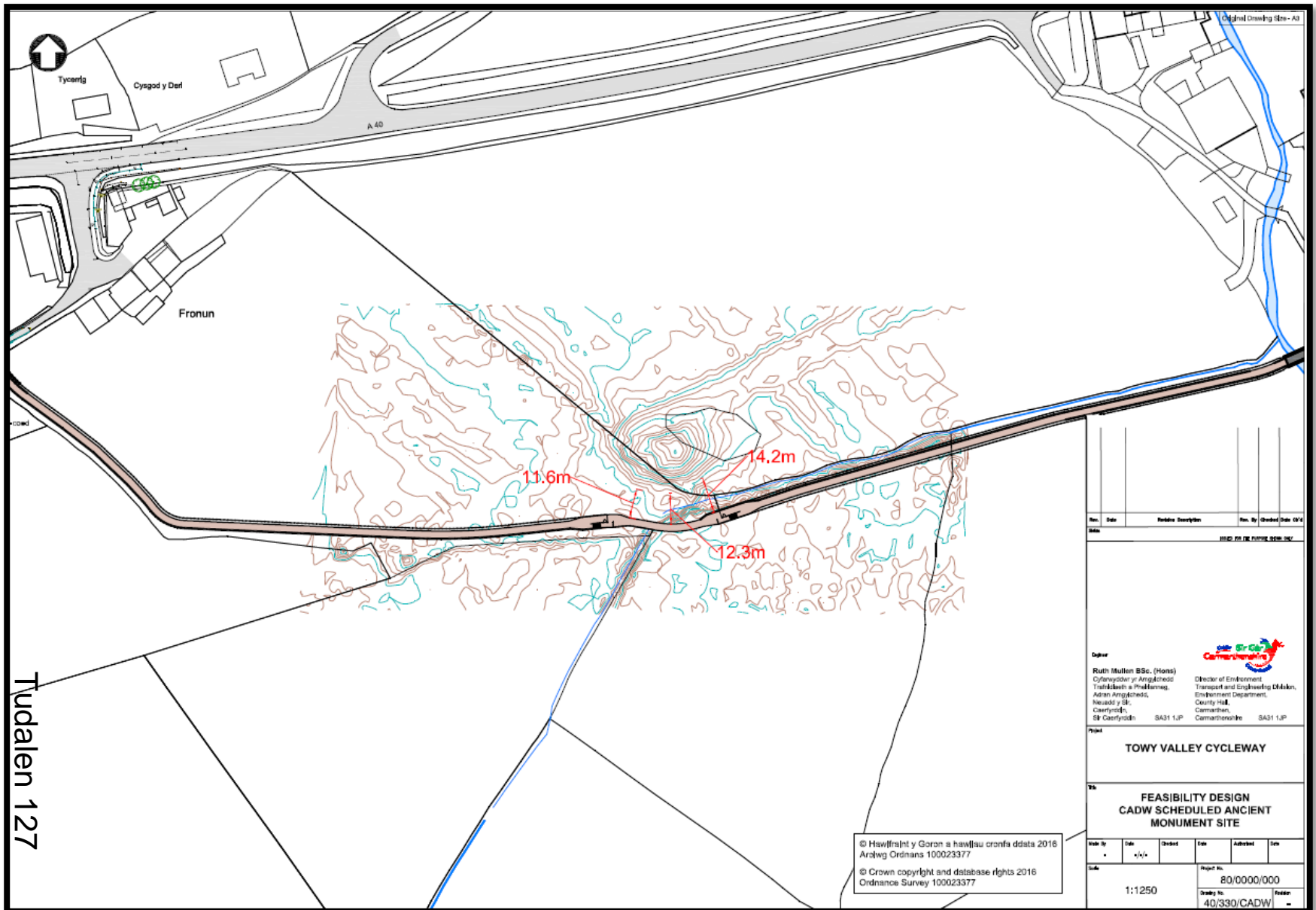
SECTION W3

1:1000


RDGC 410346

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W/34225 : Proximity of path to Scheduled Ancient Monument Site



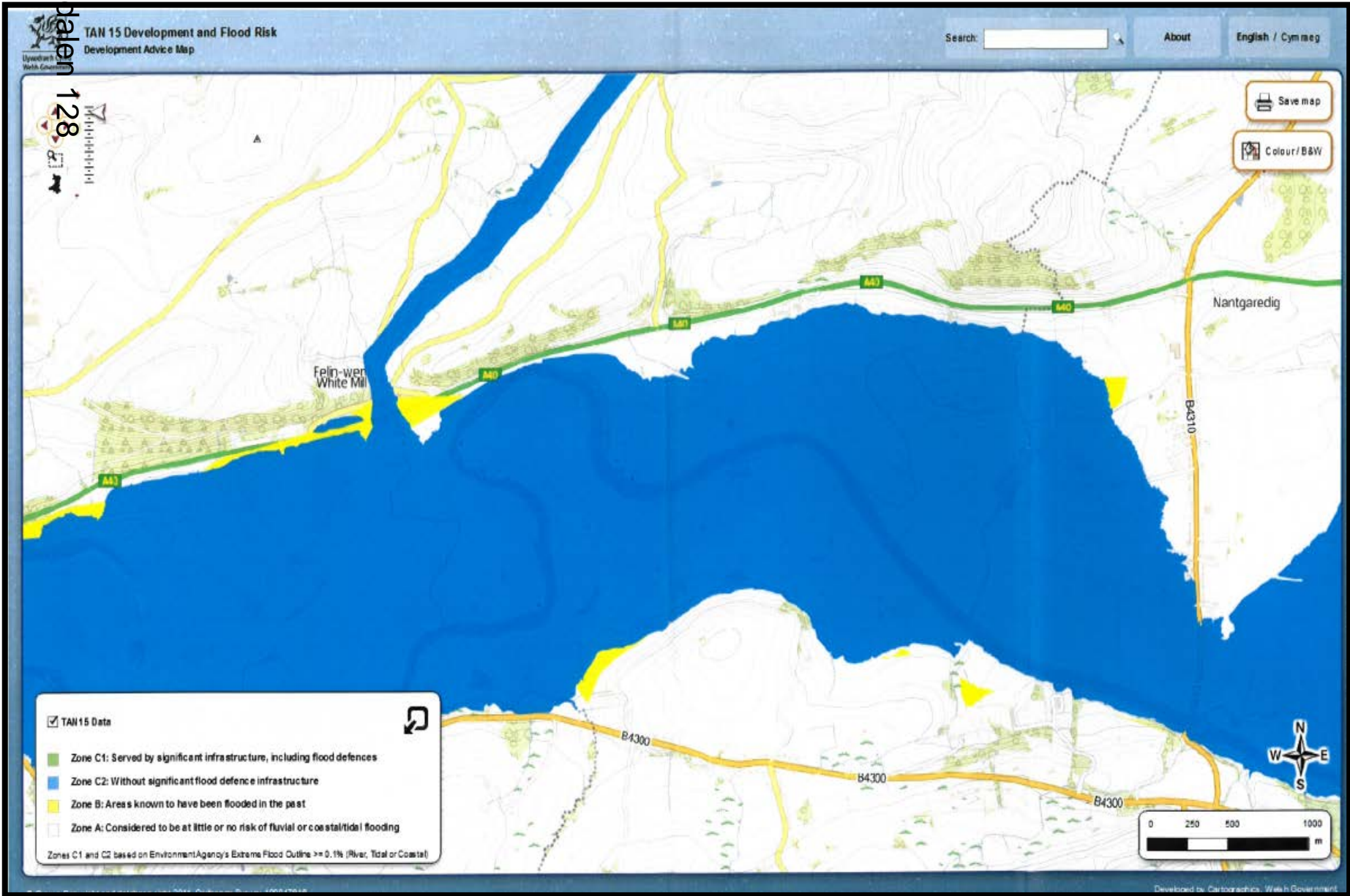
Rev.	Date	Revised Description	Rev. By	Checked	Date (Y/Y)


Deddfwr
 Ruth Mullen BSc. (Hons)
 Cyfarwyddwr yr Anglwm
 Tŷrheddieth a Phroffesiyn
 Adran Anglwm,
 Heolad y Sŷ,
 Caerfyrddin
 SA31 1JP

Director of Environment
 Transport and Engineering Division,
 Environment Department,
 County Hall,
 Carmarthen,
 Carmarthenshire SA31 1JP

Project					
TOWY VALLEY CYCLEWAY					
Task					
FEASIBILITY DESIGN CADW SCHEDULED ANCIENT MONUMENT SITE					
Rev.	Date	Checked	Rev.	Approved	Date
Scale				Project No.	
1:1250				80/0000/000	
Drawing No.				Revision	
40/330/CADW				-	

W/34225 TAN 15 – Development Advice Map

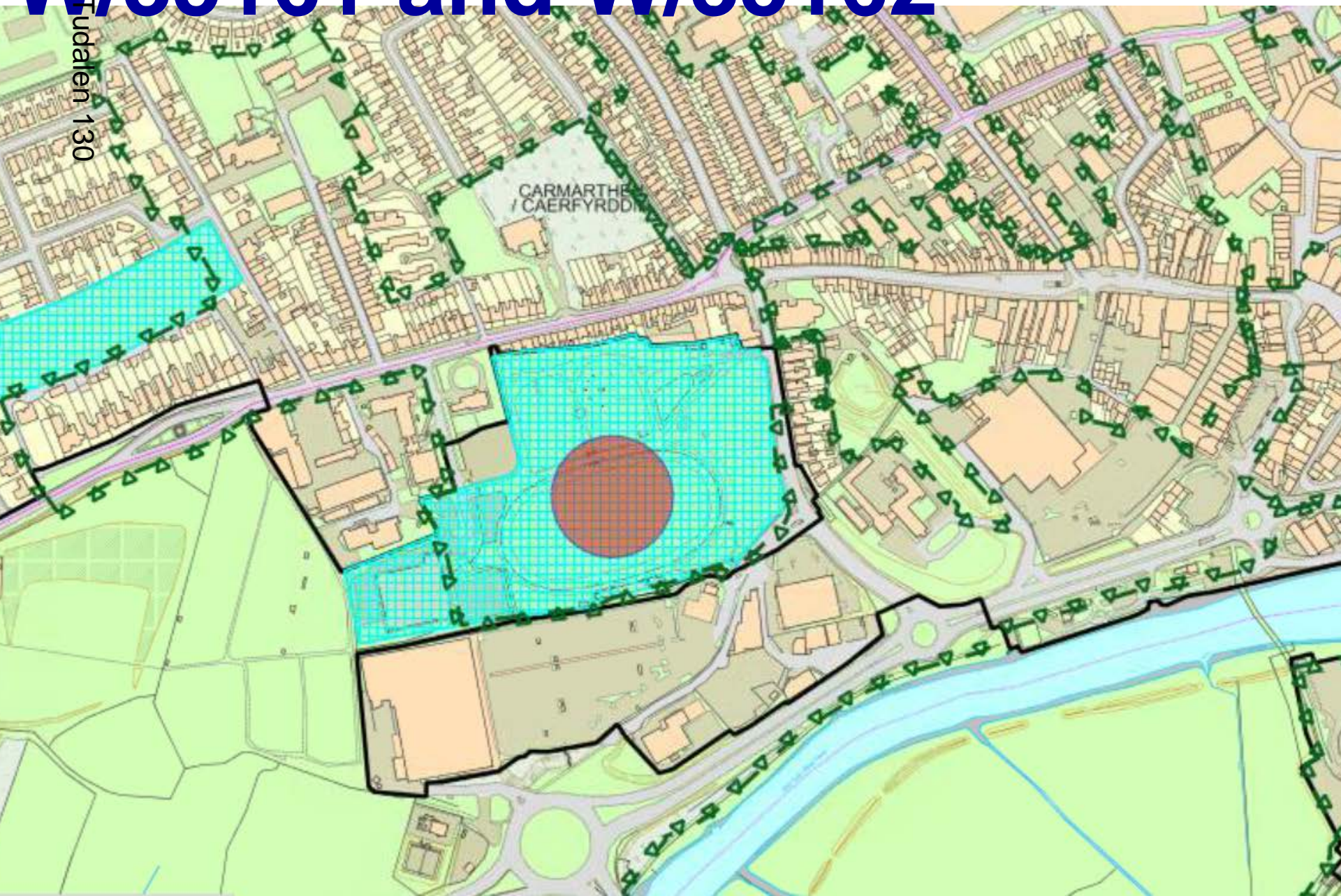


Tubalen 128

W/35161 and W/35162

W/35161 and W/35162

Tudalen 130



W/35161 and W/35162

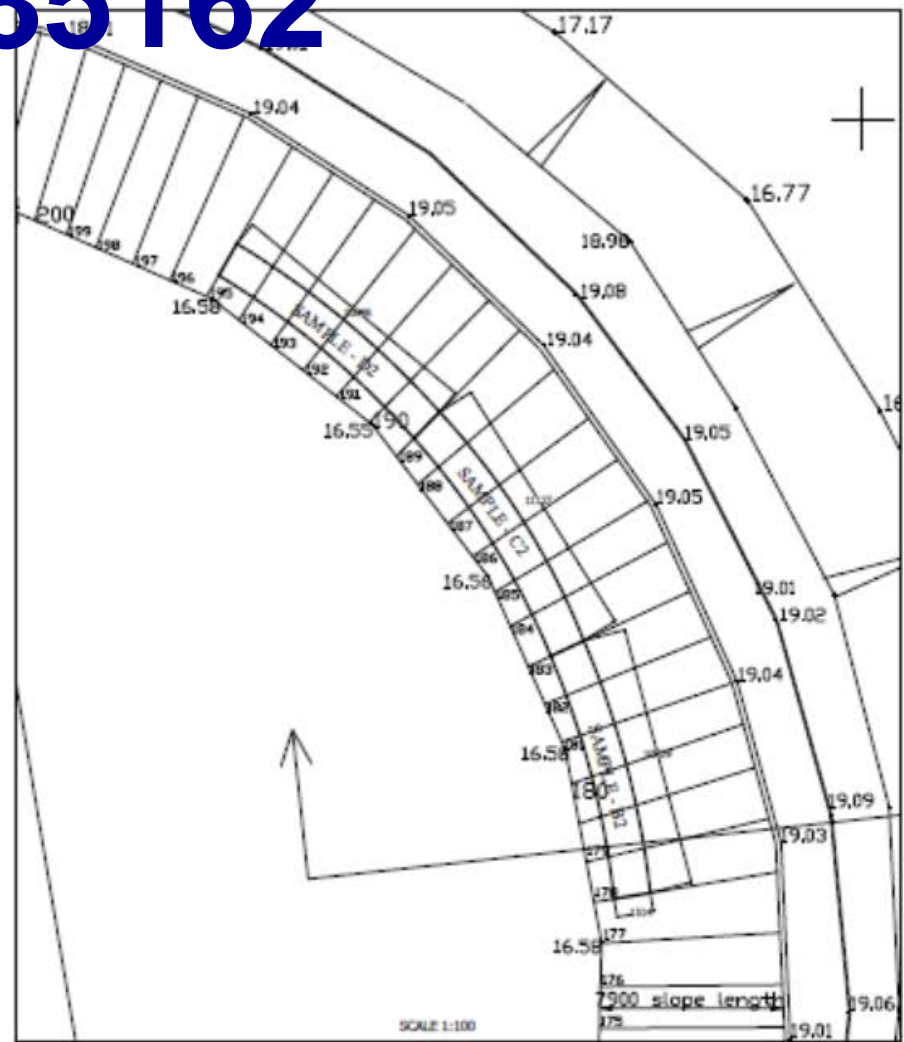
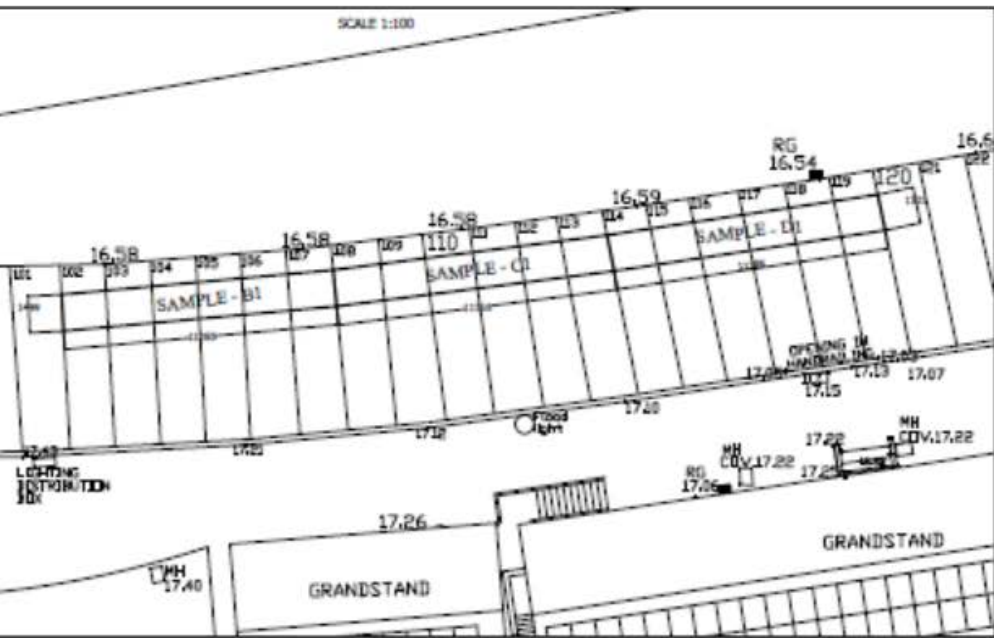
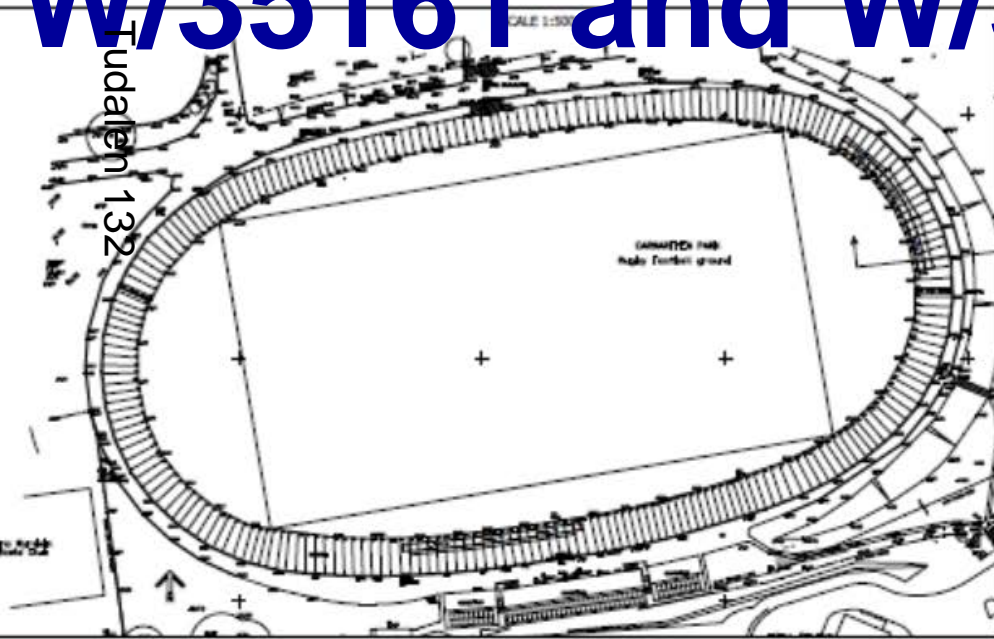


Tudalen 131

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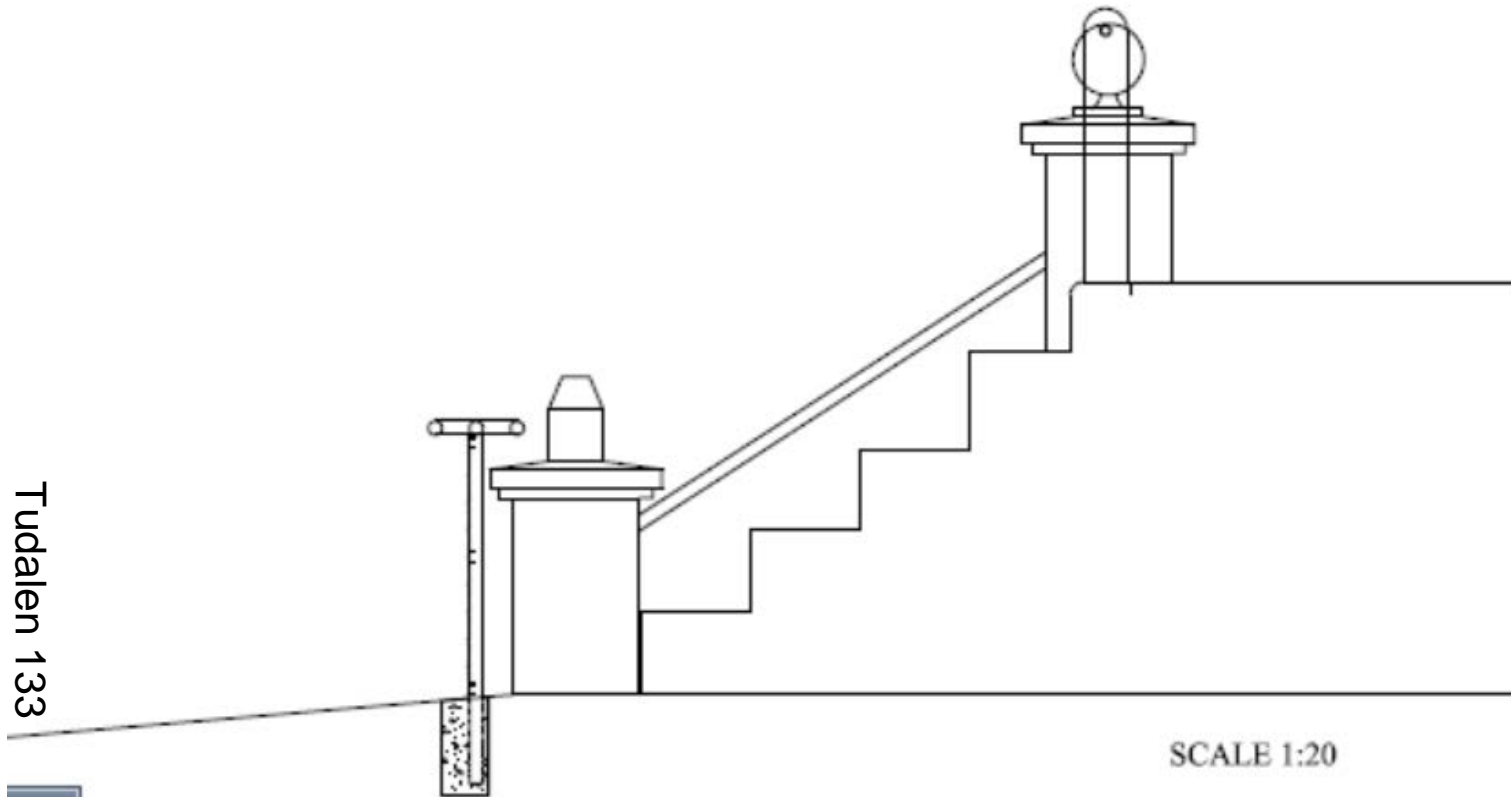
W/35161 and W/35162



- * Test areas identified as Sample B1, Sample C1, Sample D1 and Sample B2, Sample C2, Sample D2
- * Top coat samples B1 and B2 by Supplier 1, Samples C1 and C2 by Supplier 2, Samples D1 and D2 by Supplier 3.
- * Each sample area approximately 11m long by 1.5m wide.
- * Each sample area to be prepared and finished as per the expected final finish for the main contract. This is to include the expansion joints between each concrete bay.



W/35161 and W/35162

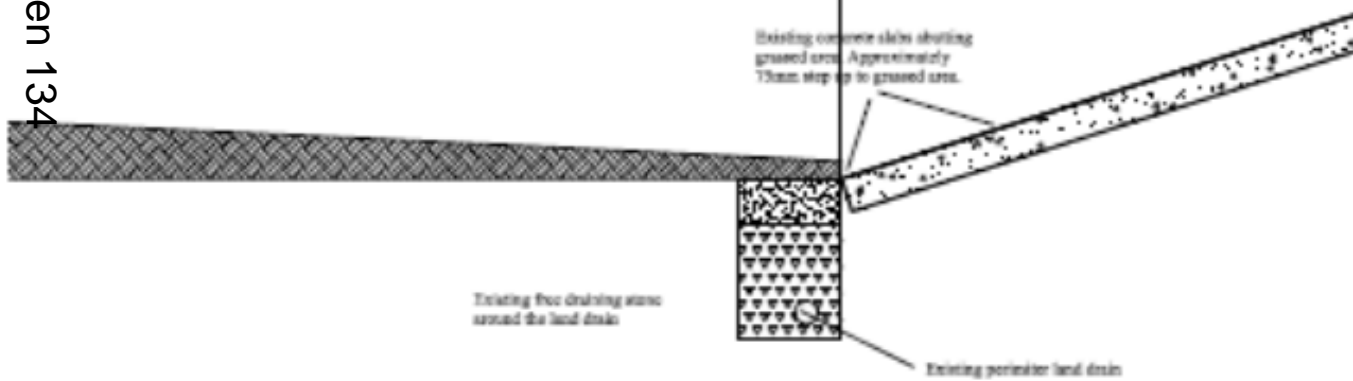


Tudalen 133

SCALE 1:20

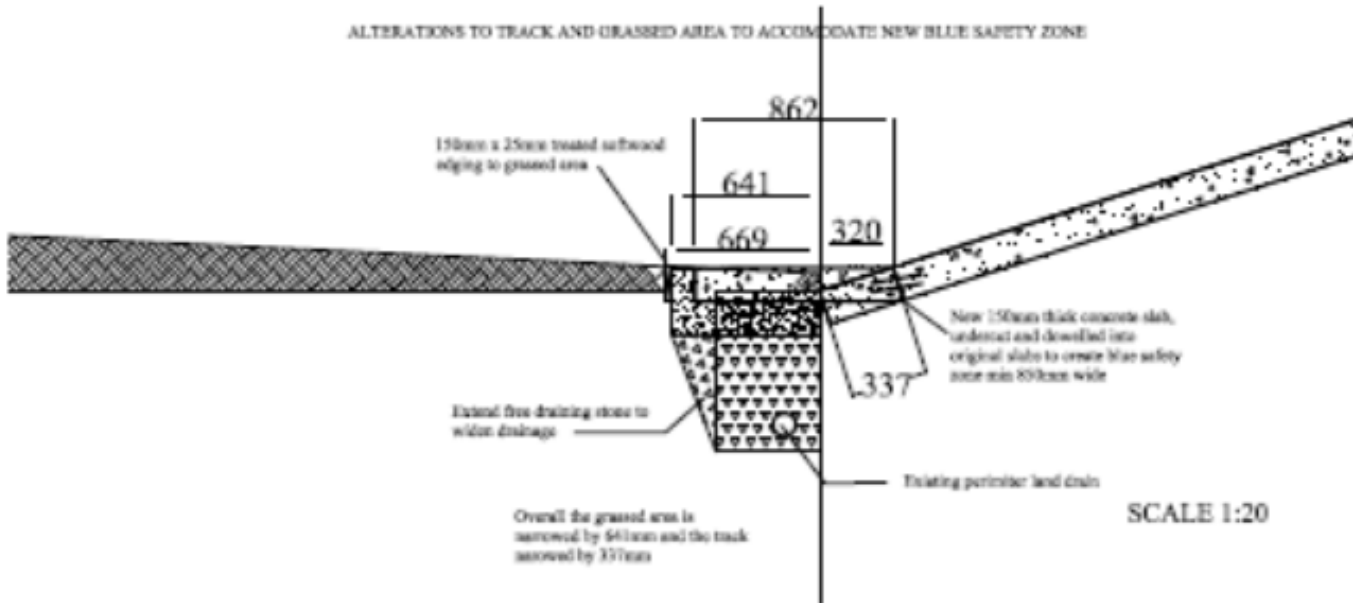
W/35161 and W/35162

Tudalen 134



SCALE 1:20

ALTERATIONS TO TRACK AND GRASSED AREA TO ACCOMMODATE NEW BLUE SAFETY ZONE



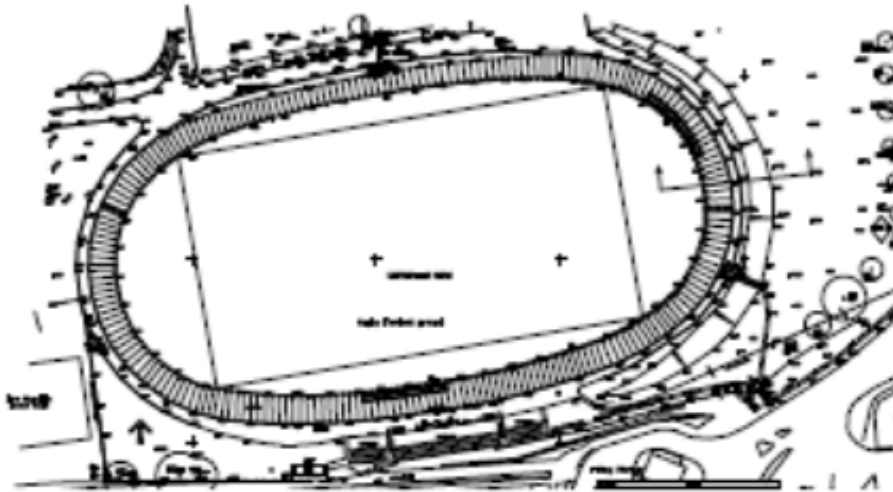
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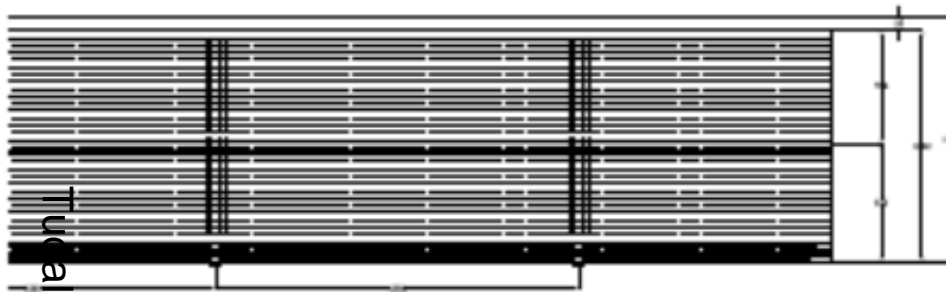
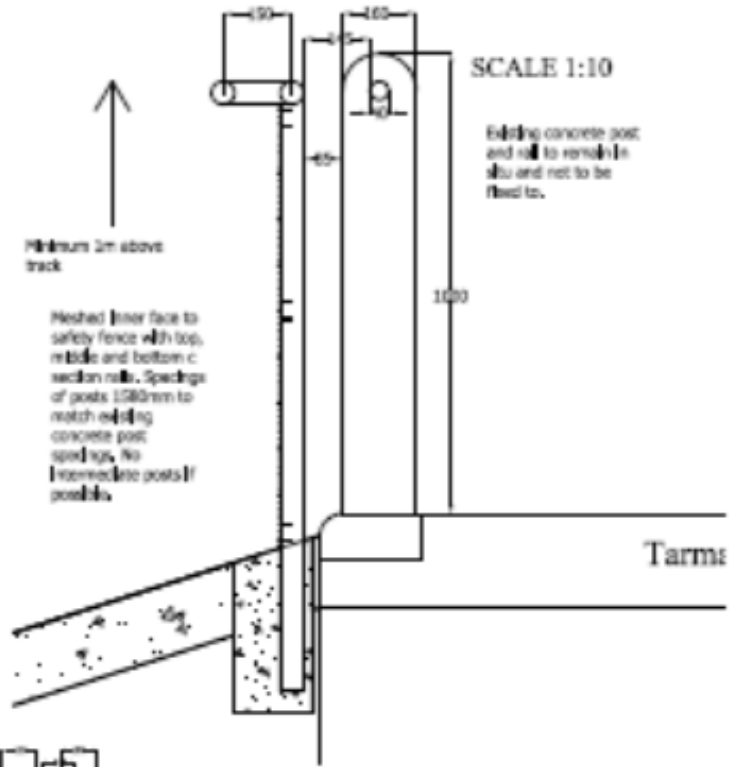
10, 14 & 16, 180 Crossways, ROCE Ardara, Dumfries & Galloway, Dumfries, Dumfries, Dumfries	
Job Title: Carron Glen Park Visitations Project Job Number:	
Drawing: Proposed blue safety zone alterations Drawing Number: 805 - Revisions: NCMS	
Drawn By: CM	Date Drawn: Sept 2015
Scale: 1:20	4 of 45

W/35161 and W/35162

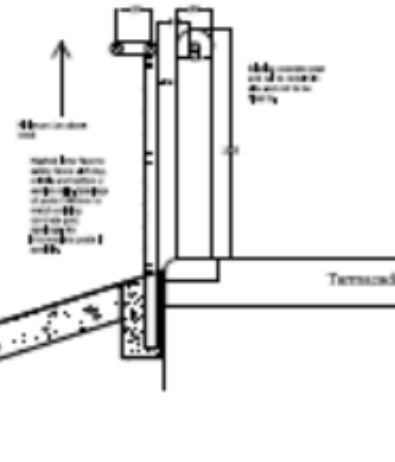
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SCALE 1:10



SCALE 1:20

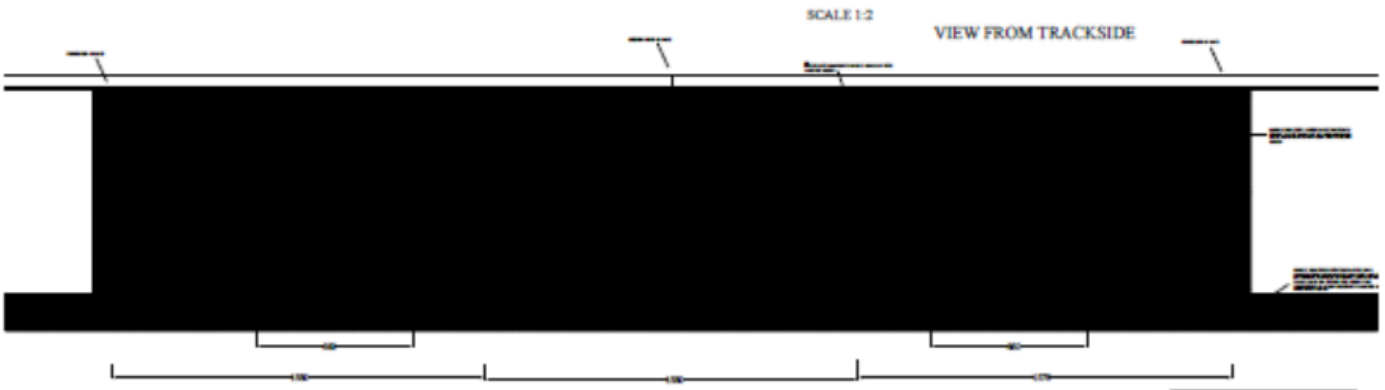
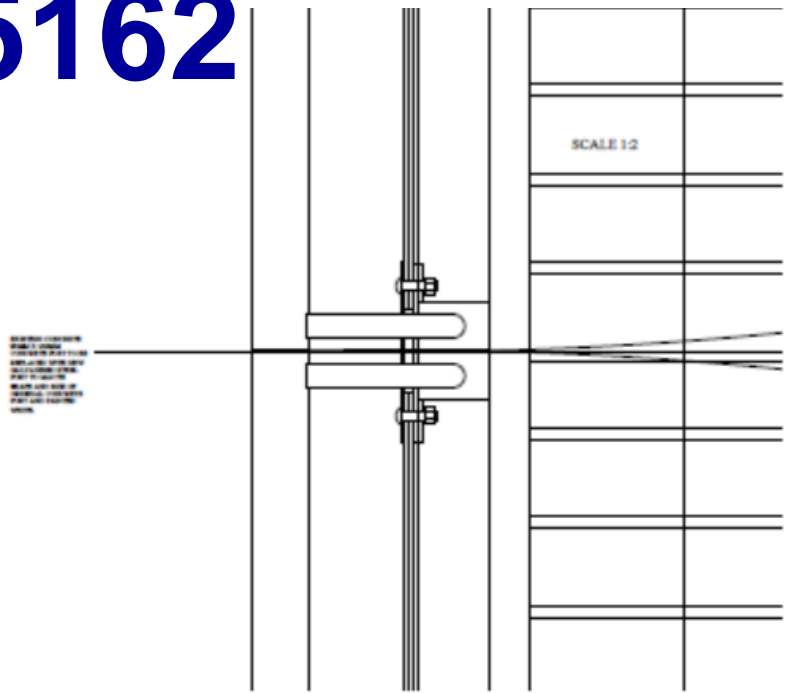
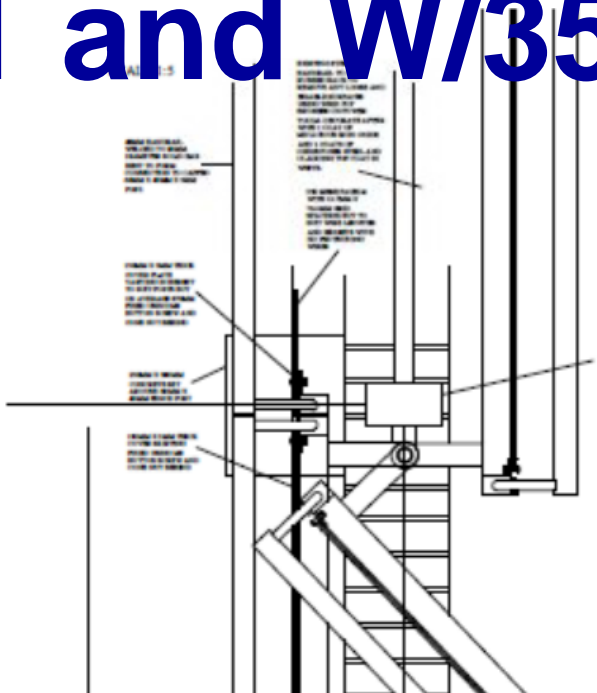
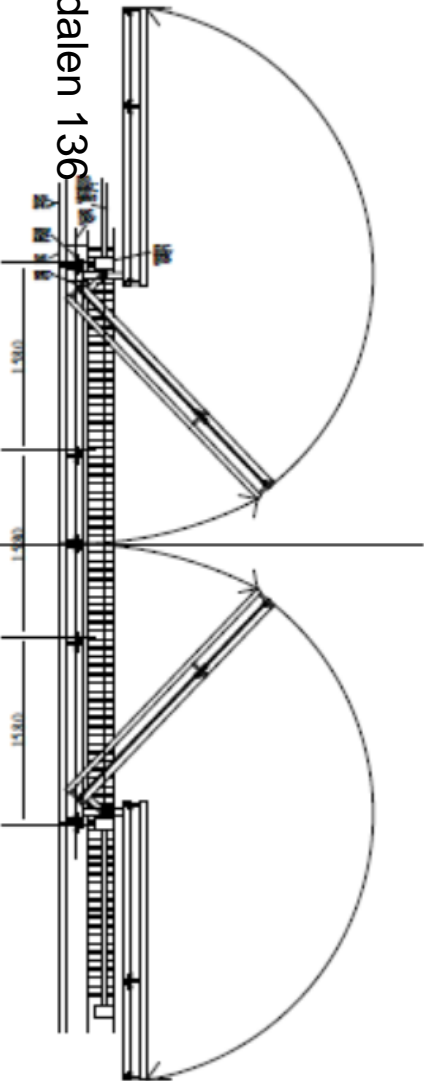


Mr. S. Morgan, P.S. Cornwall, PC208 100 West Street, B. Cornwall, Cornwall, UK Tel: 01323 810000	
Job Title: Carraduff Park Velodrome Project Job Number:	
Drawing Title: Safety Fence Detail Drawing Number: 002 Revision: NCR01	
Drawn By: CM	Date Drawn: 14/02/2015
Scale: Various	#1: AJ

Tucalen 135

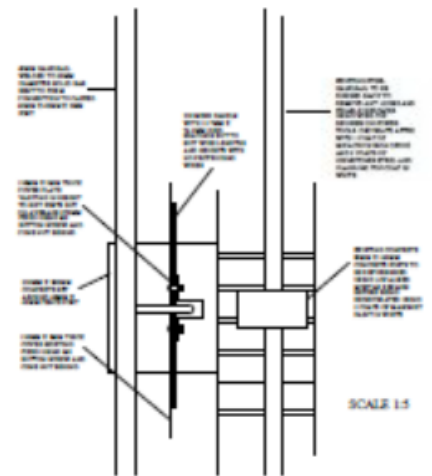
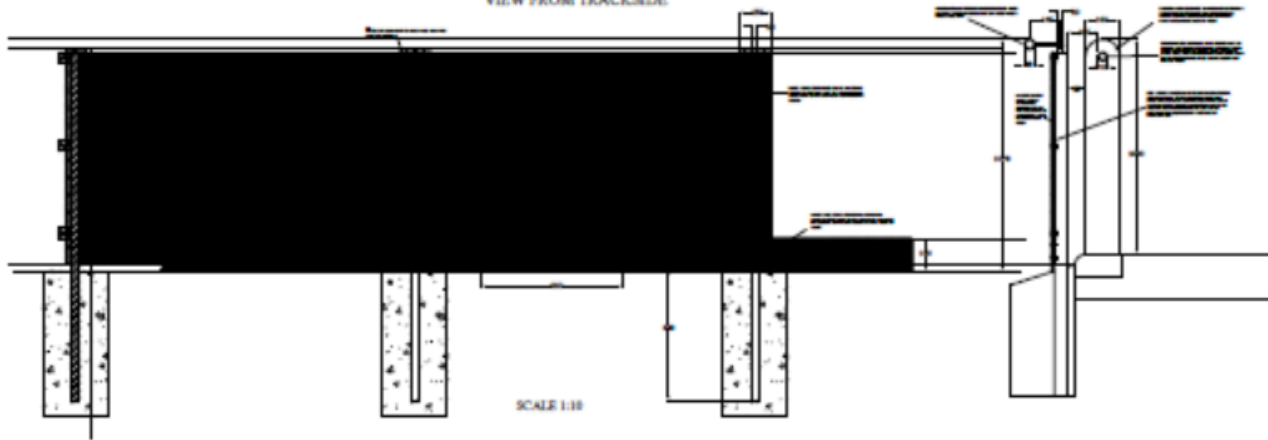
W/35161 and W/35162

Judalen 136

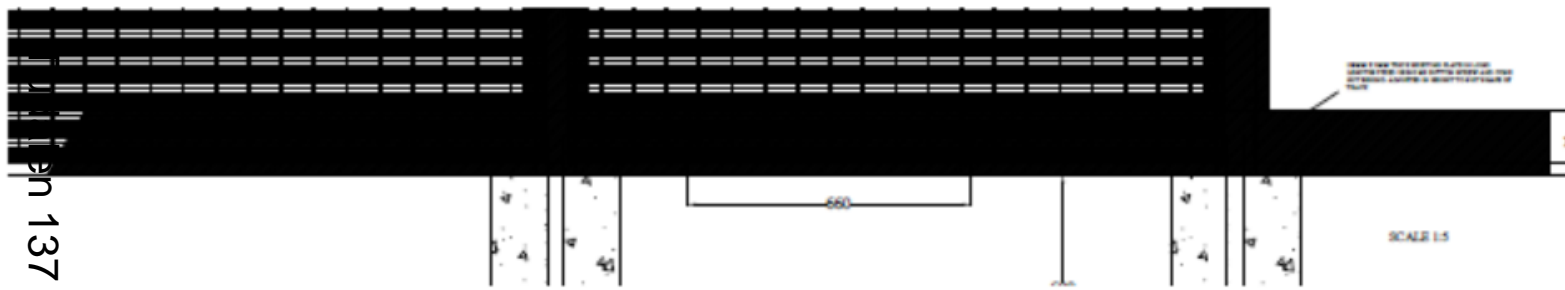
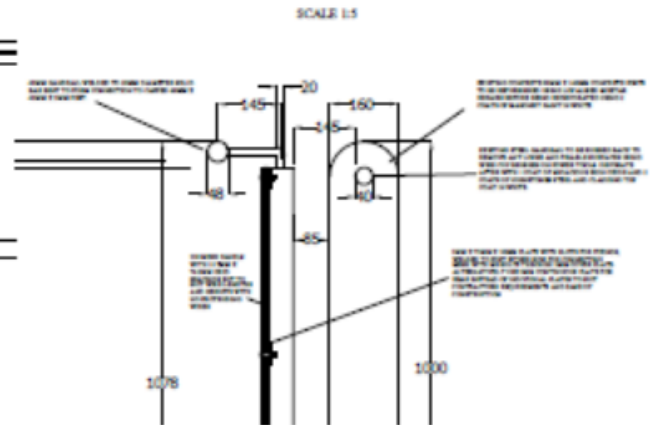
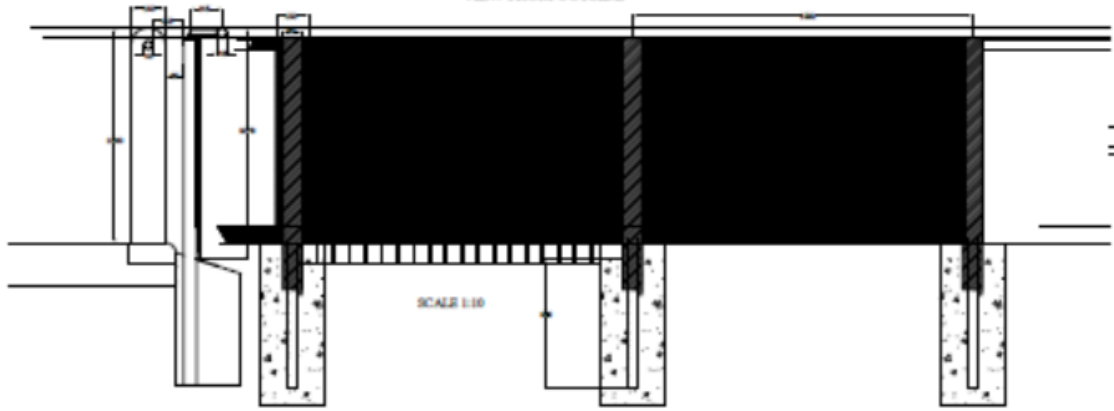


W/35161 and W/35162

VIEW FROM TRACKSIDE



VIEW FROM OUTSIDE



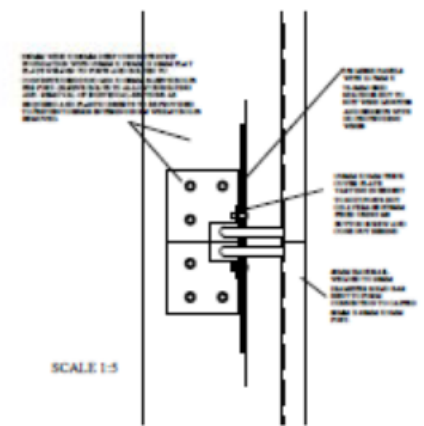
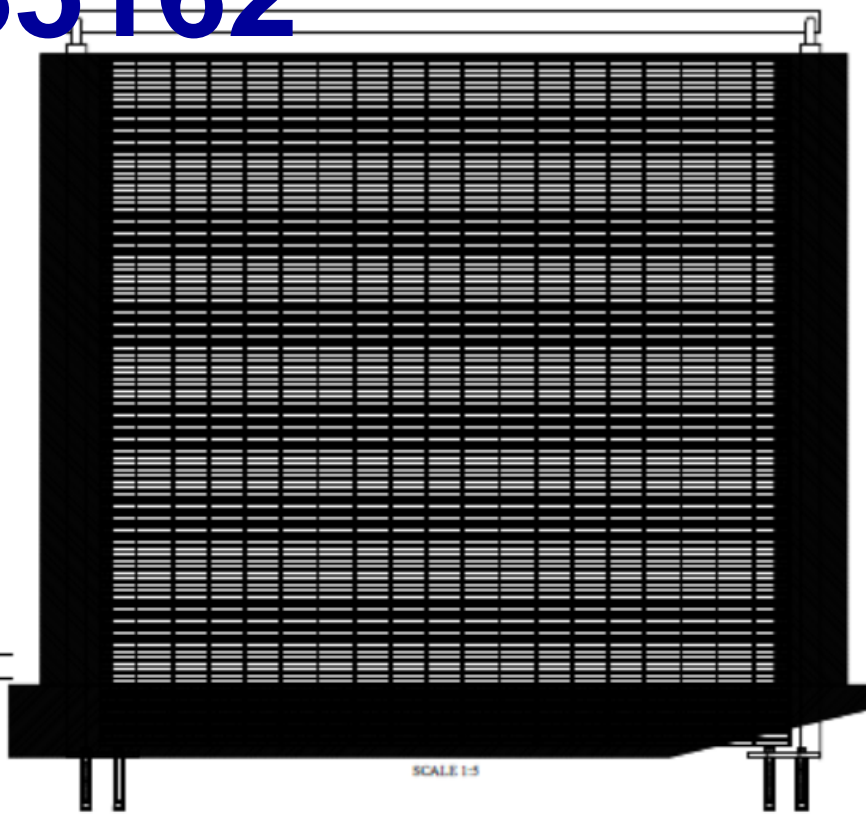
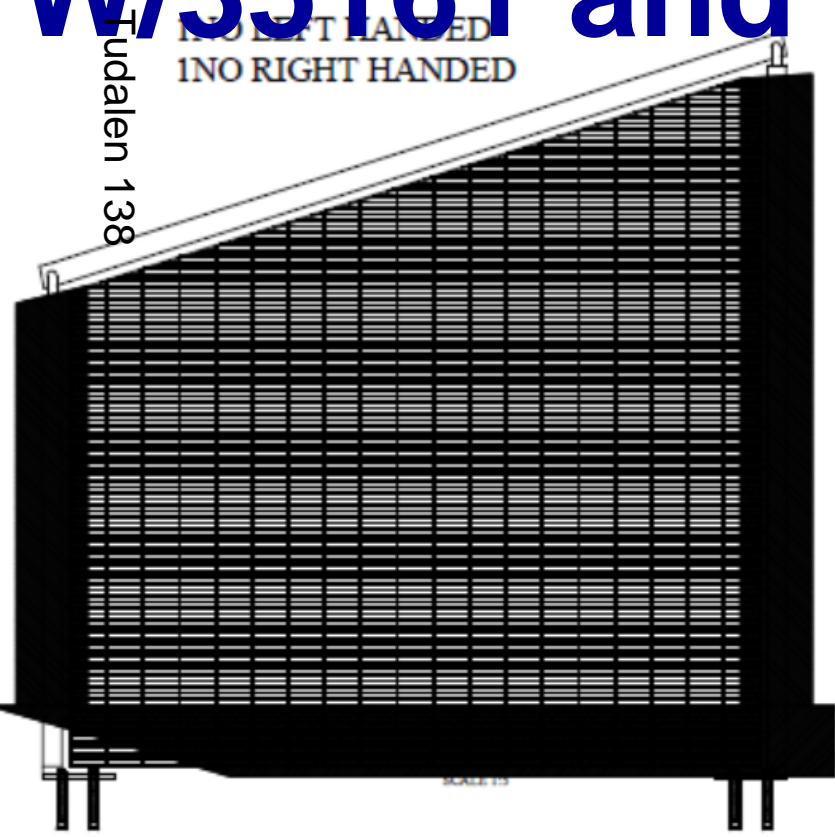
Project Name	W/35161 and W/35162
Client	Carl Morgan Building Services
Scale	SCALE 1:5
Drawing No.	W/35161 and W/35162
Date	2024/01/15
Author	J. Smith
Check	M. Jones
Scale	SCALE 1:5

pn 137

W/35161 and W/35162

Tudalen 138

NO LEFT HANDED
NO RIGHT HANDED



W/35161 and W/35162



Tudalen 139

W/35161 and W/35162

Tudalen 140



W/35161 and W/35162



Tudalen 141

W/35161 and W/35162

Tudalen 142



W/35161 and W/35162



W/35161 and W/35162

Tudalen 144



W/35161 and W/35162



Tudalen 145

W/35161 and W/35162

Tudalen 146



W/35161 and W/35162



Tudalen 147

W/35161 and W/35162

Fudalen 148



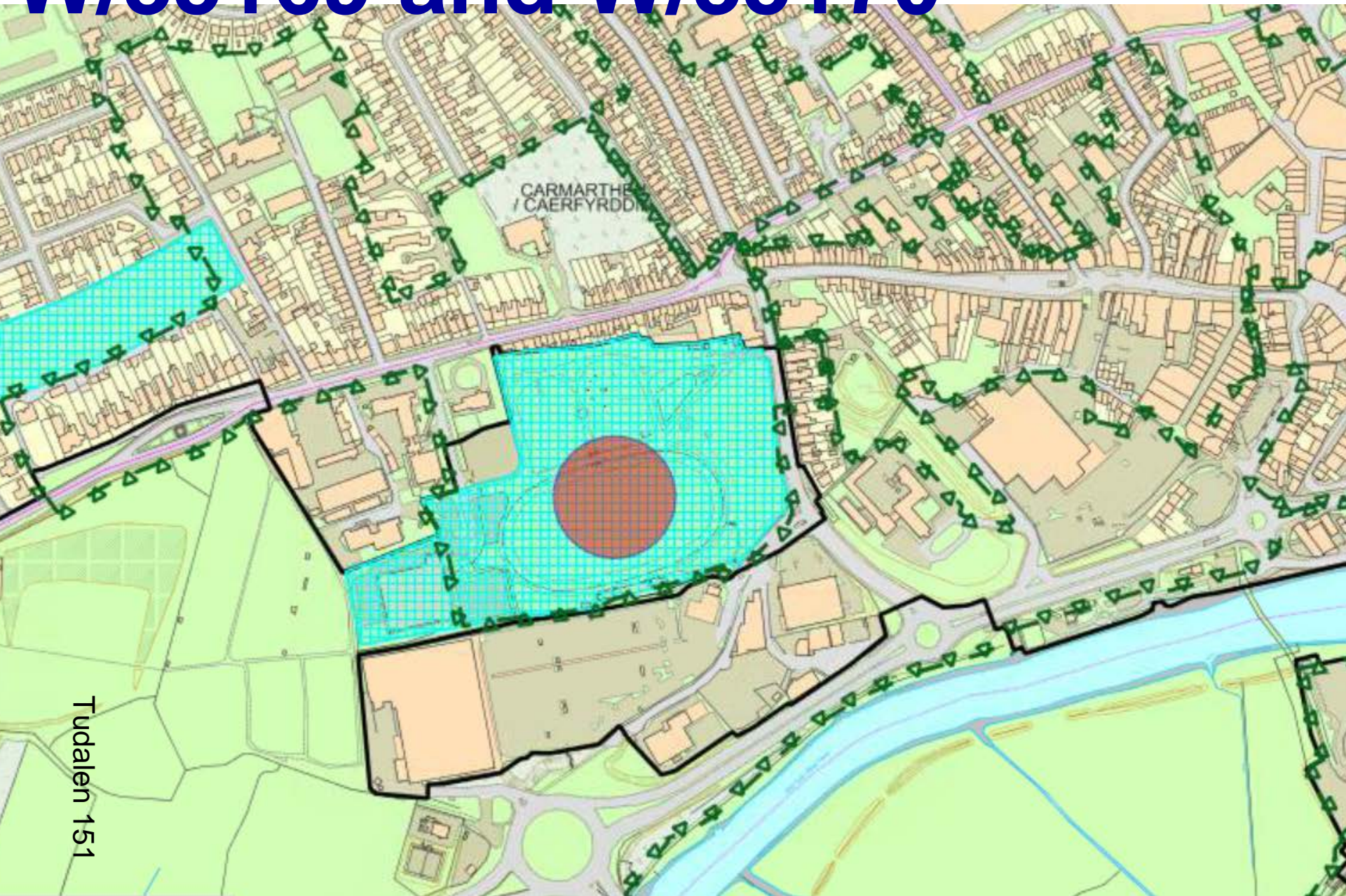
W/35161 and W/35162



Tudalen 149

W/35169 and W/35170

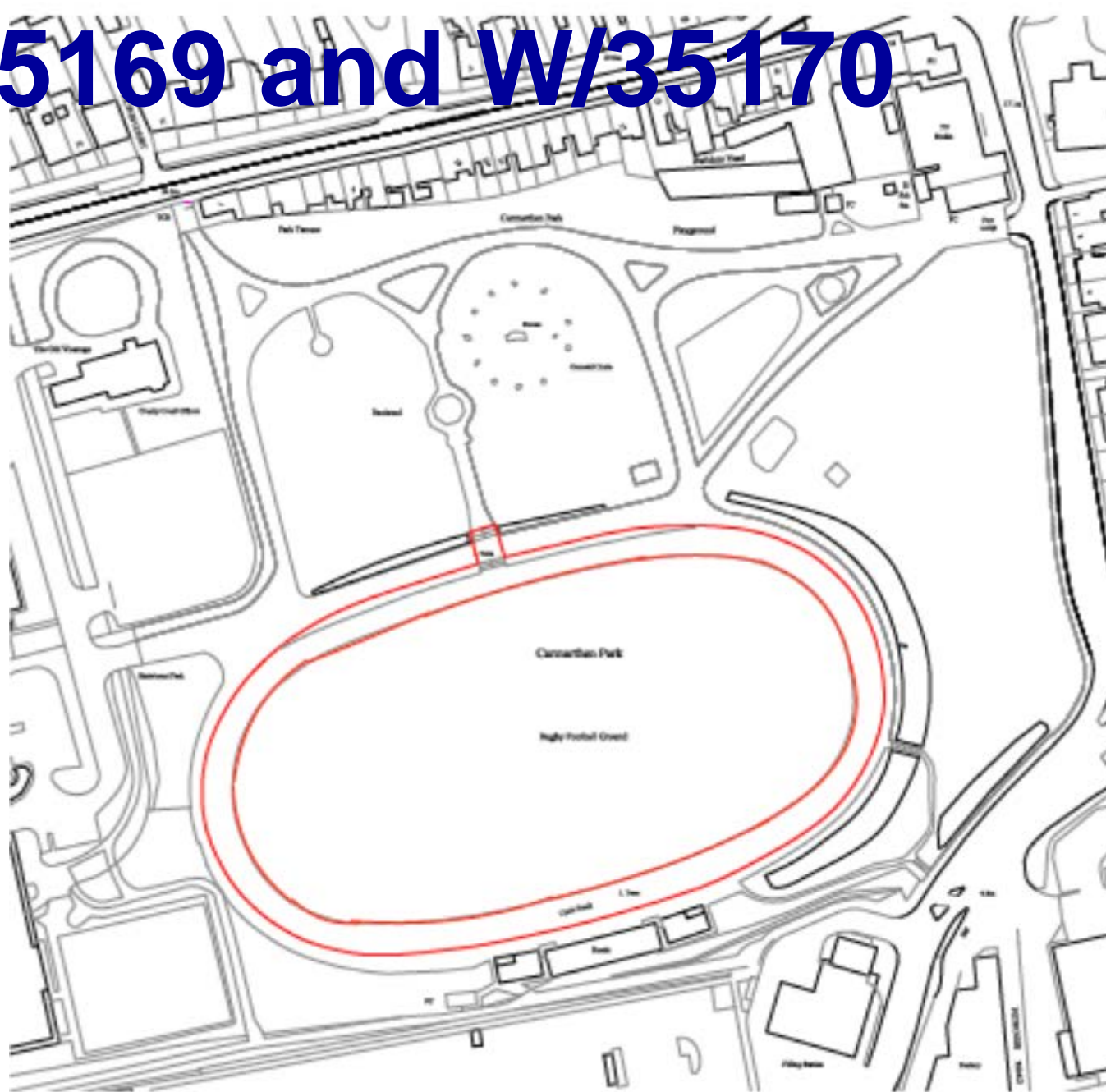
W/35169 and W/35170



Tudalen 151

W/35169 and W/35170

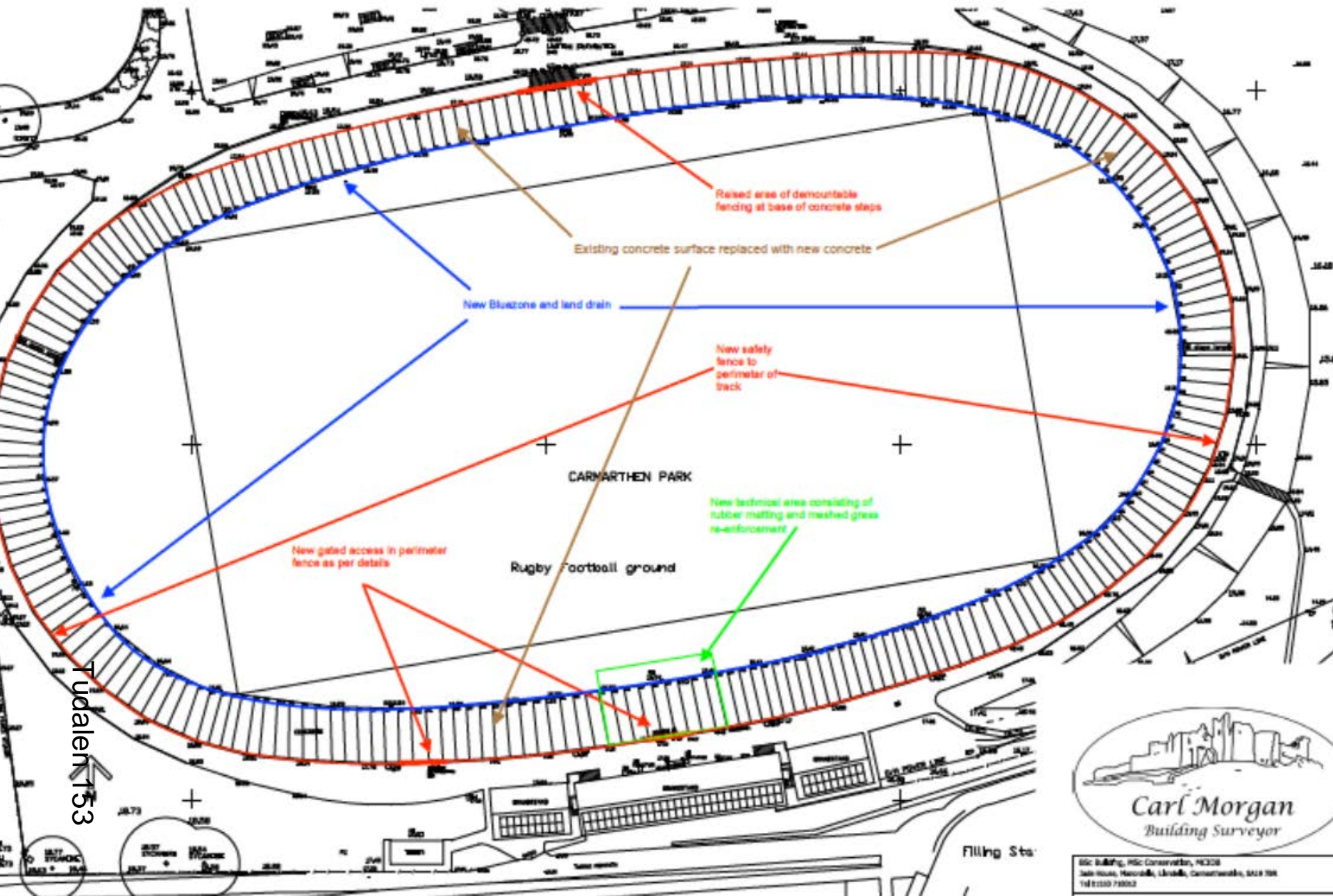
Tudalen 152



SCALE 1:250

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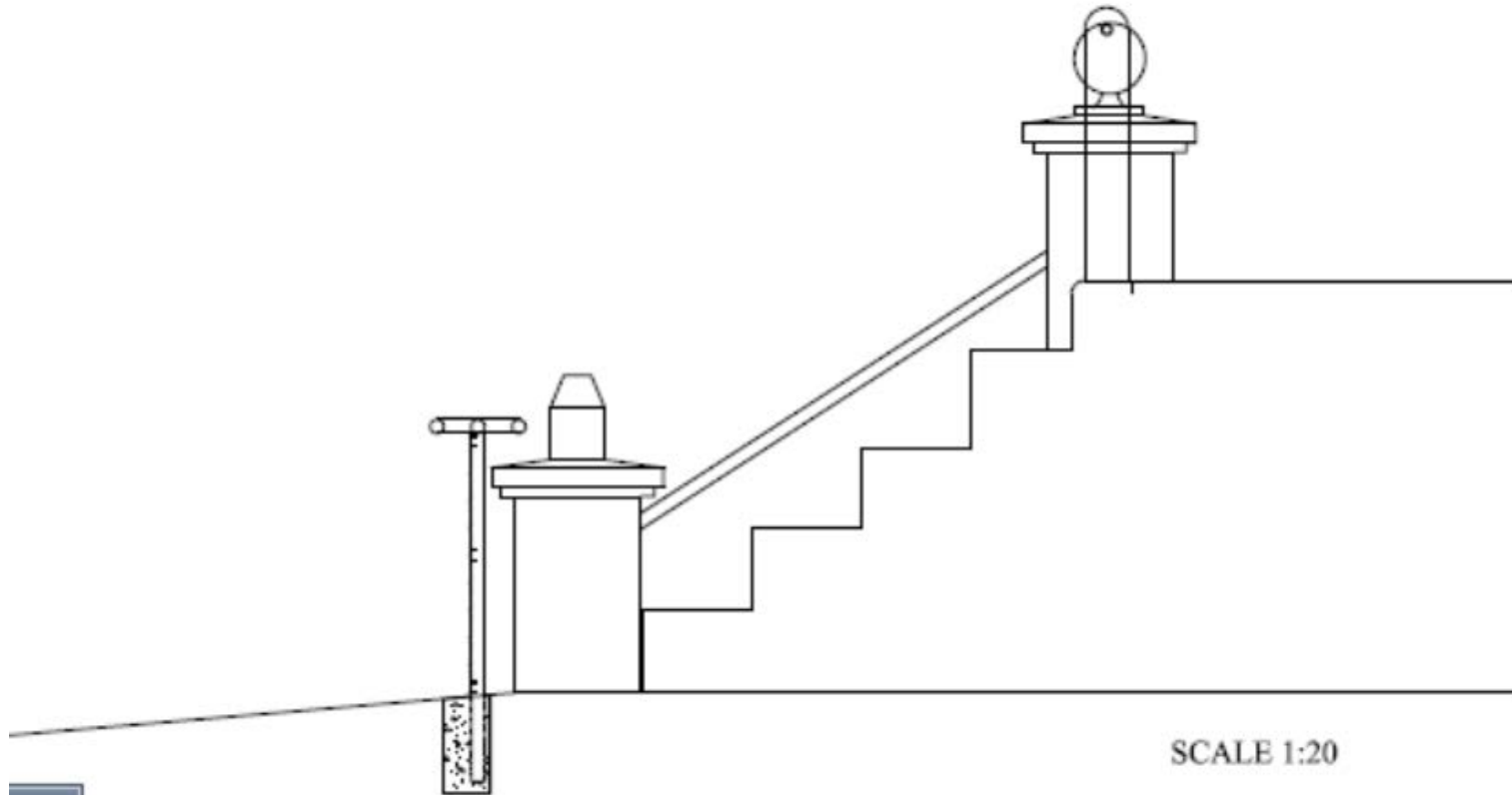
W/35169 and W/35170



Site Building, Pils Conservation, NCC208
Sain Hwys, Penarth, Llanelli, Carmarthenshire, SA20 9BA
Tel 01292 790032

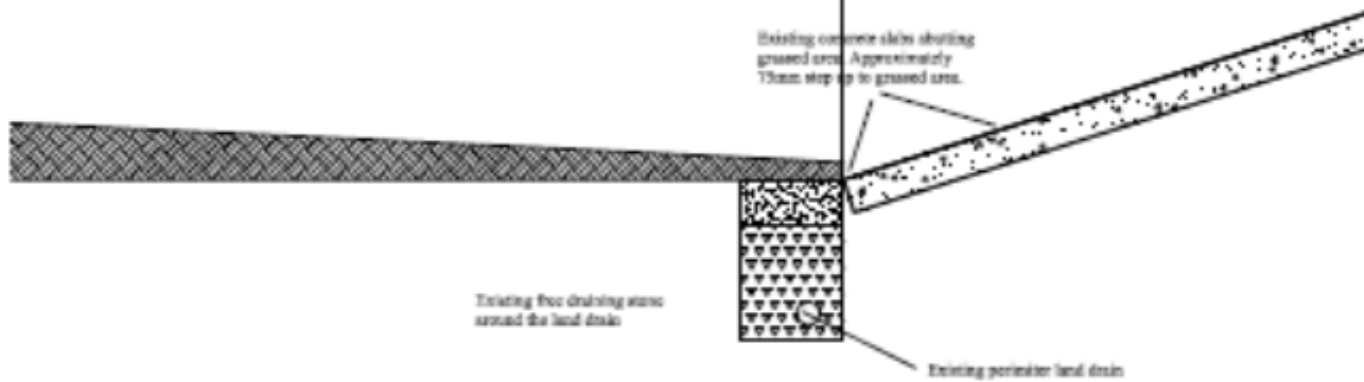
W/35169 and W/35170

Tudalen 154



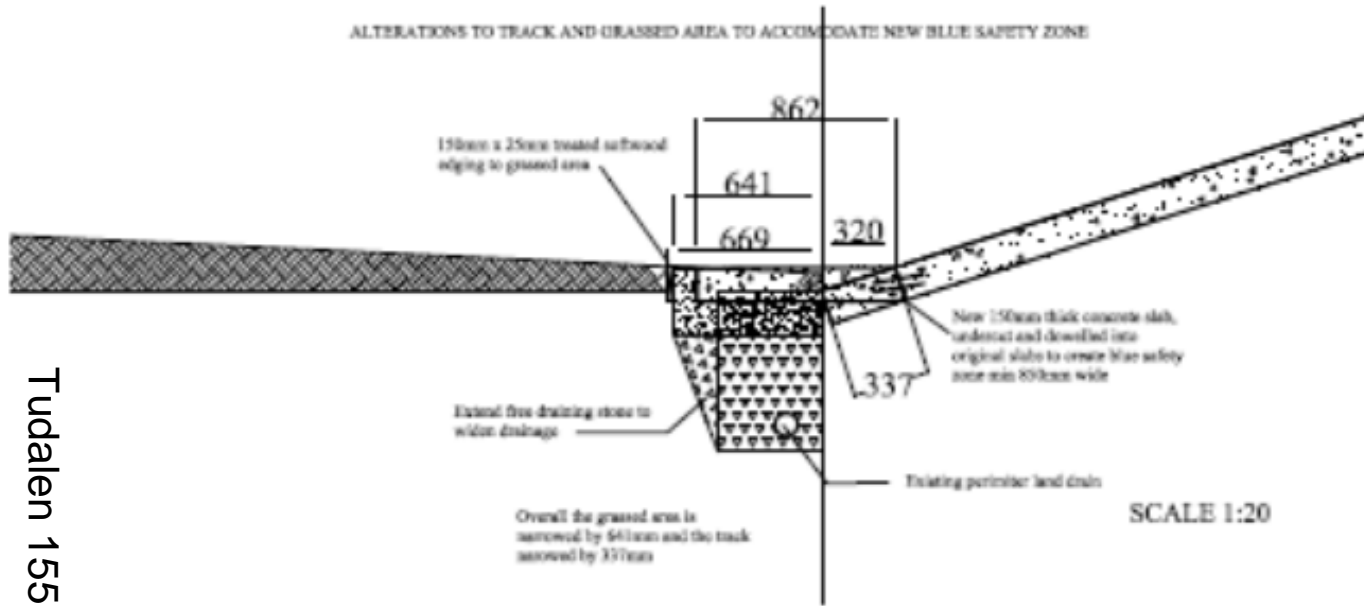
SCALE 1:20

W/35169 and W/35170



SCALE 1:20

ALTERATIONS TO TRACK AND GRASSED AREA TO ACCOMMODATE NEW BLUE SAFETY ZONE



SCALE 1:20

Tudalen 155

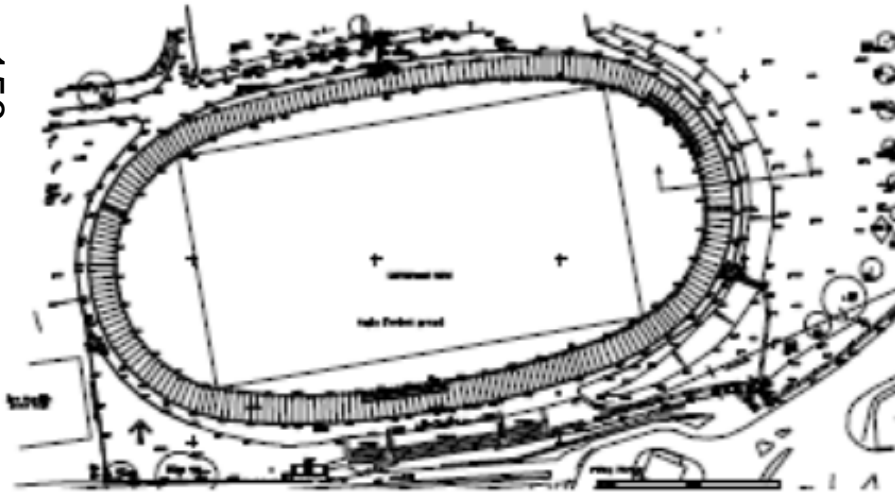


Mr & Mrs M.C. Morgan, 2028 Ardmore Road, Ardmore, Johannesburg, 2053 Tel: 011 462 1111	
Job Title: Carairden Park Visitations Project Job Number:	
Drawing: Proposed blue safety zone alterations Drawing Number: 805 - Revision: NCMS	
Drawn By: CM	Date Drawn: Sept 2015
Scale: 1:20	Sheet: 45

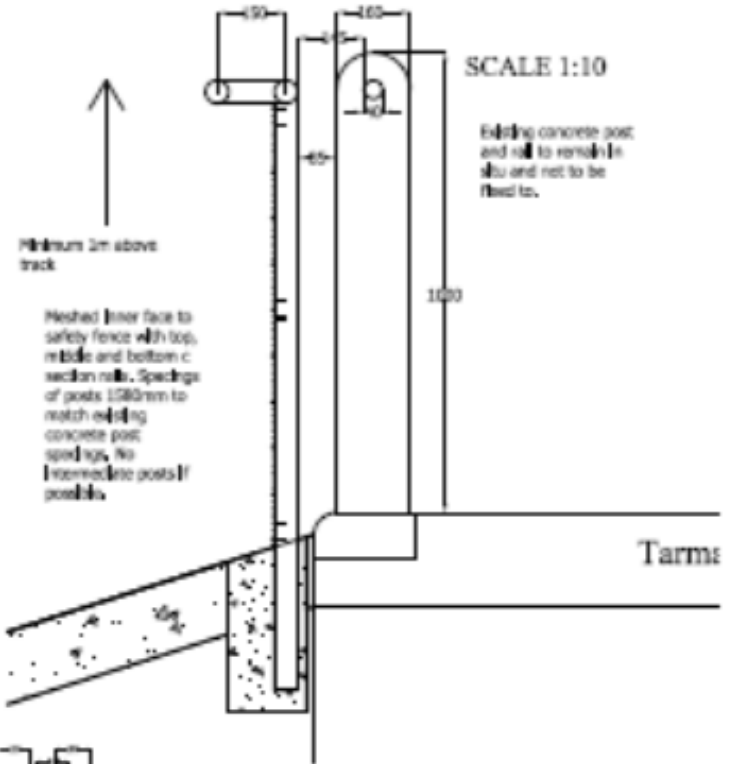
W/35169 and W/35170

Tudalen 156

SCALE 1:1250

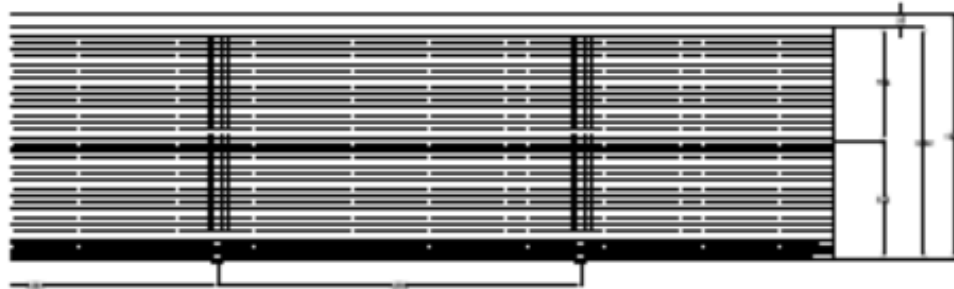


SCALE 1:10

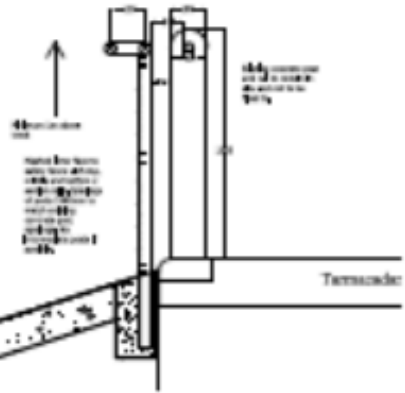


Minimum 2m above track

Meshed inner face to safety fence with top, middle and bottom c section rails. Spacing of posts 1500mm to match existing concrete post spacing. No intermediate posts if possible.

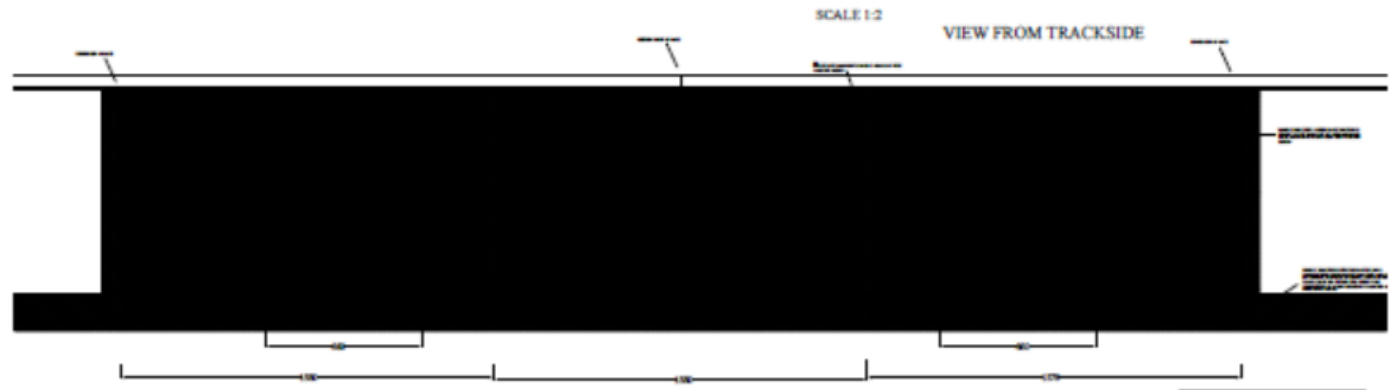
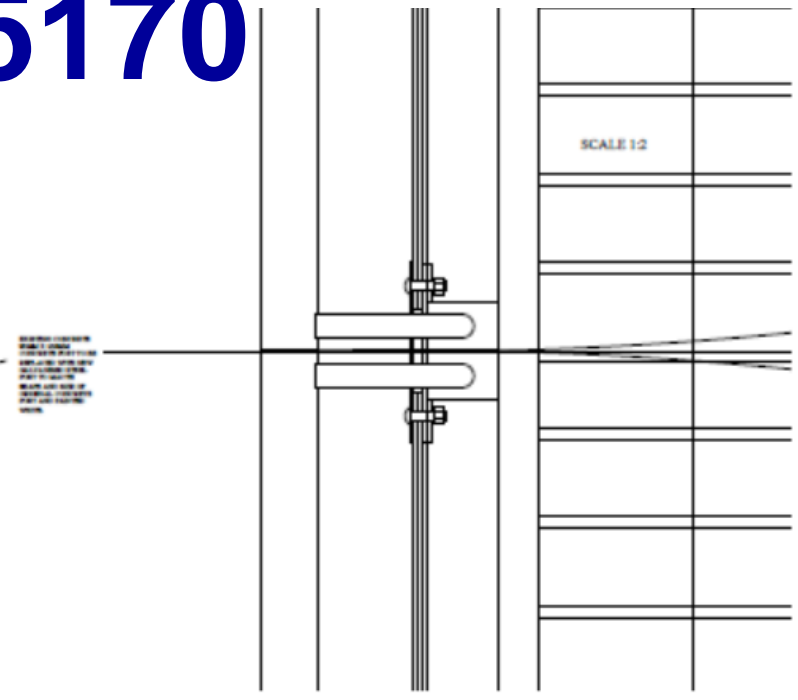
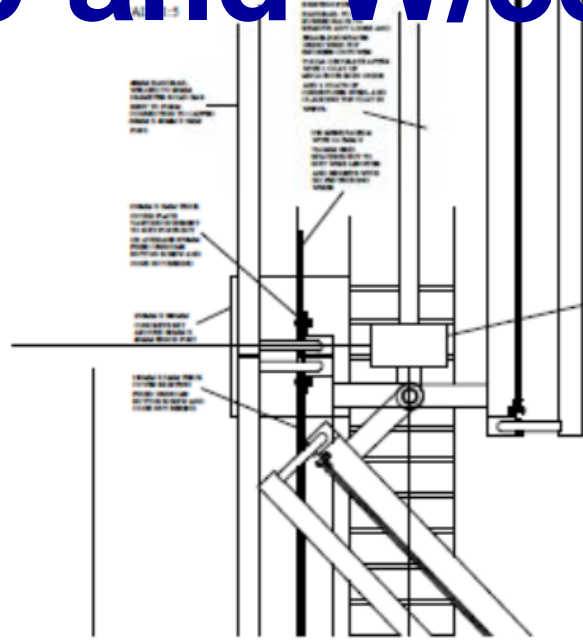
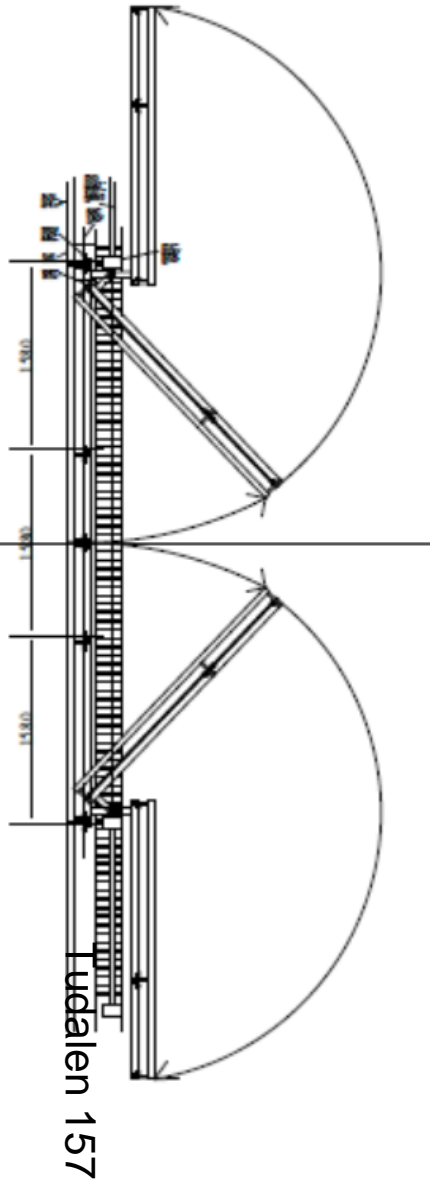


SCALE 1:20



Mr. S. Morgan, MSc, Chartered, RICS	
Site Title: Cardiff Park Velodrome Project	
Site Number:	
Drawing Title: Safety Fence Detail	
Drawing Number: 002 Revision: NCR01	
Drawn By: CM	Date Drawn: 14/02/15
Scale: Various	#: AJ

W/35169 and W/35170



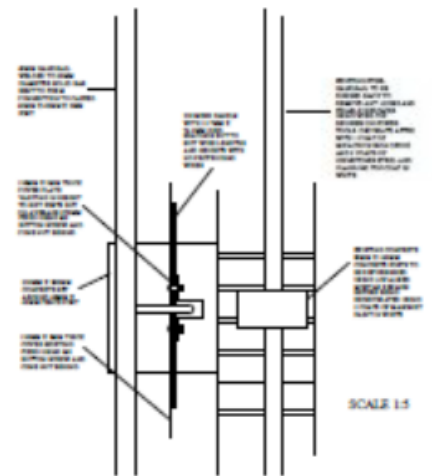
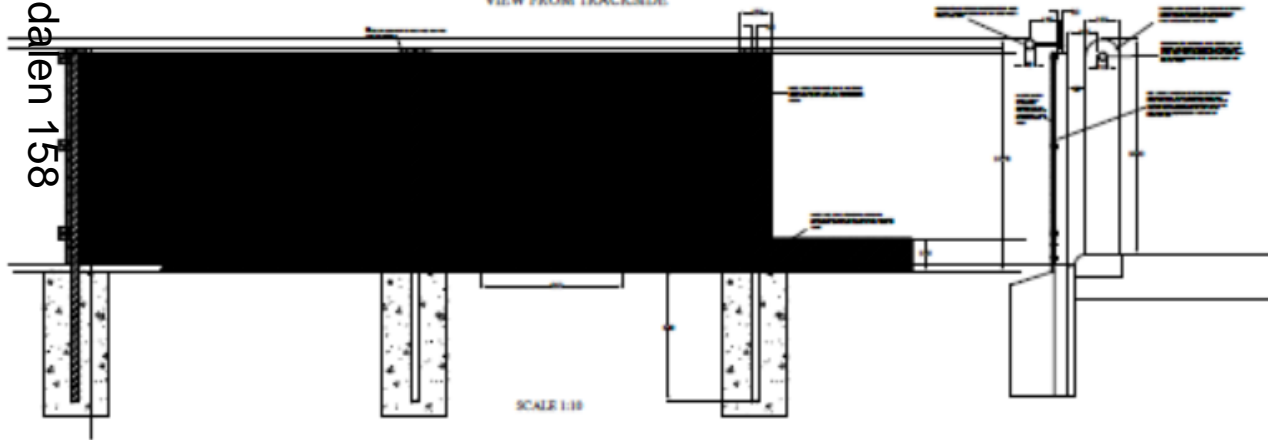
Logo and contact information for Carl Morgan Building Services. The logo features a stylized building illustration above the text 'Carl Morgan Building Services'. Below the logo, there is a box containing contact information:

Carl Morgan Building Services
2500 North 10th Street
PO Box 10000, Seattle, WA 98108
Tel: 206.251.1000
Fax: 206.251.1001
www.carlmorgan.com

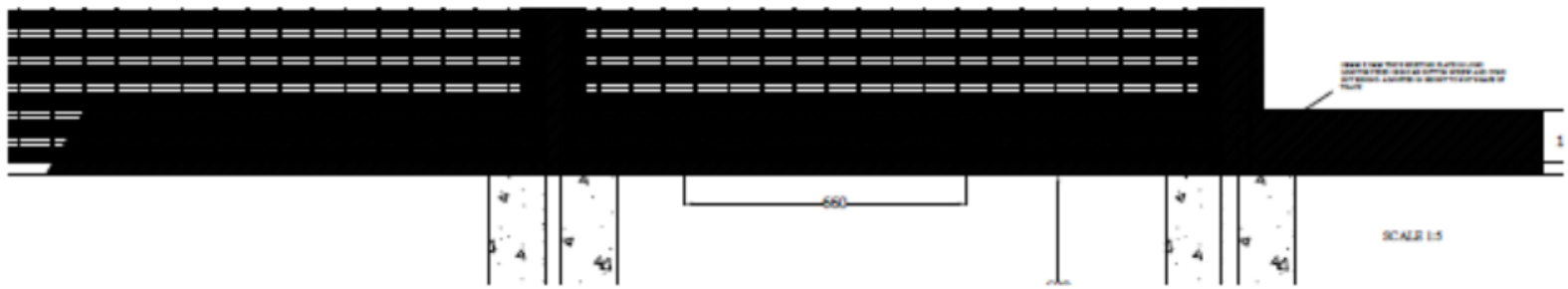
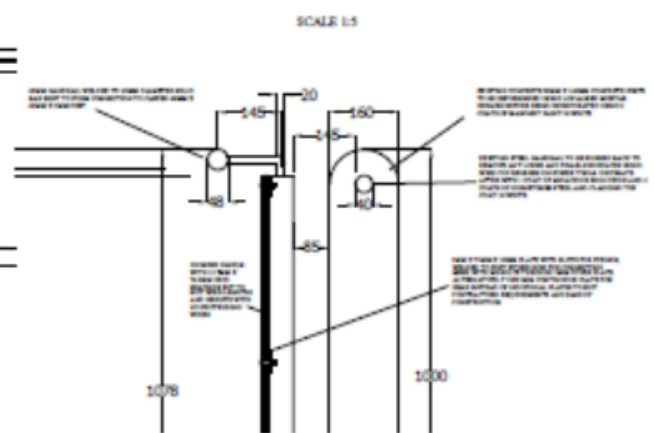
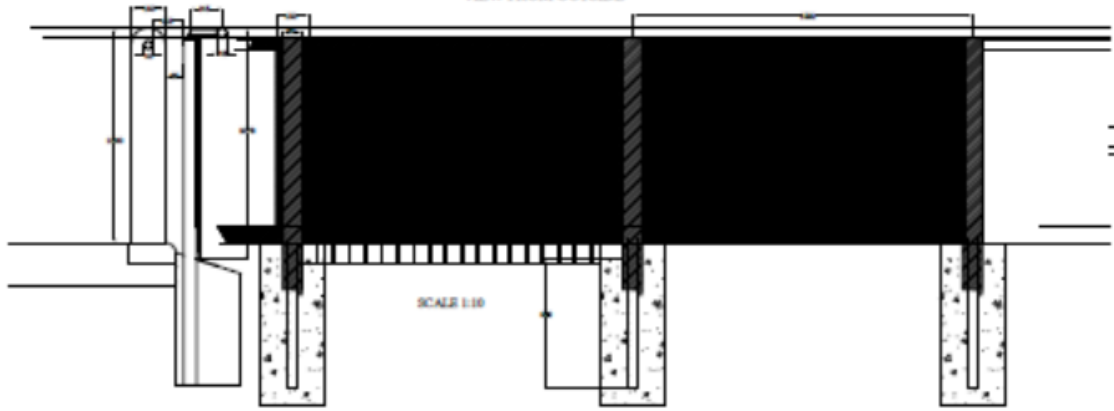
W/35169 and W/35170

Tudalen 158

VIEW FROM TRACKSIDE



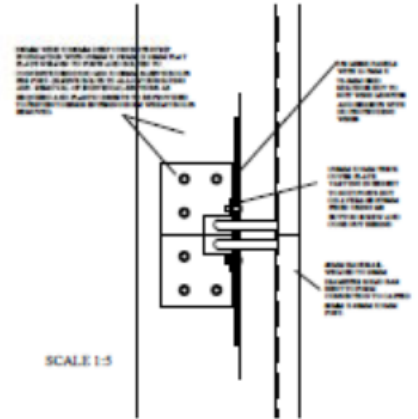
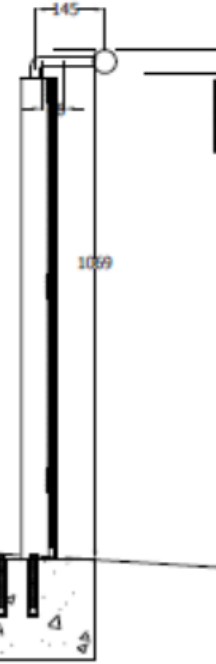
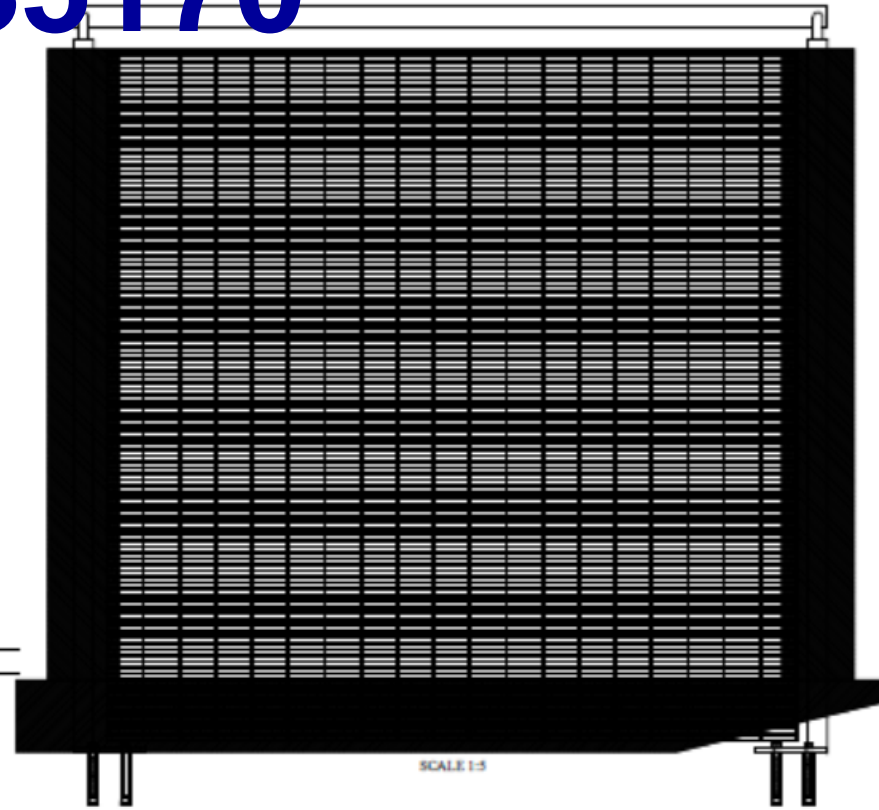
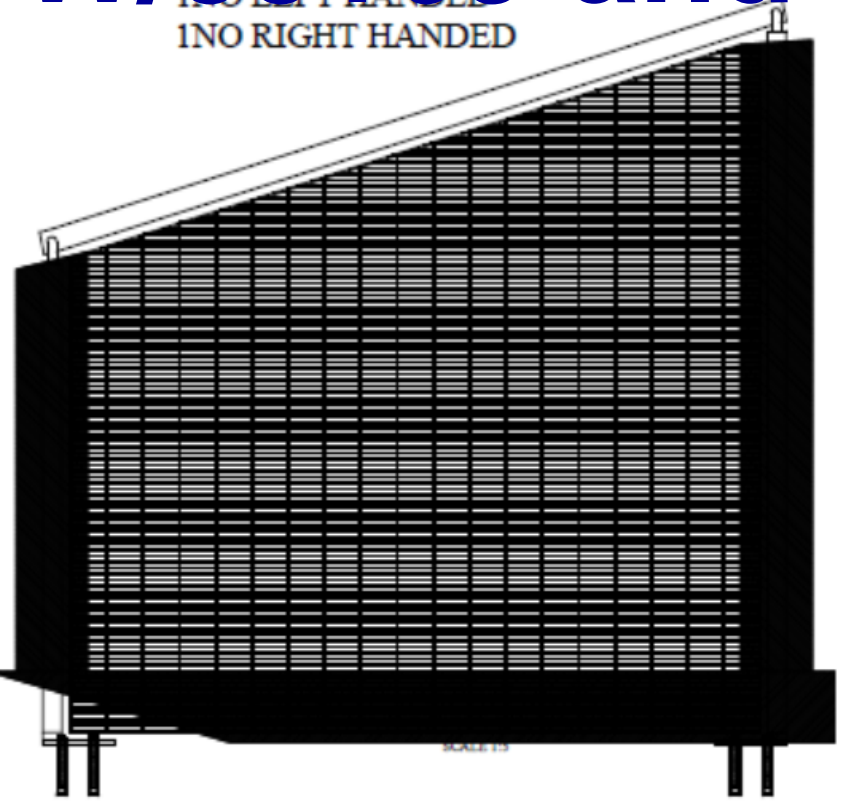
VIEW FROM OUTSIDE



Project Name	W/35169 and W/35170
Client	Carl Morgan Building Services
Location	Tudalen 158
Scale	SCALE 1:5
Author	[Name]
Check	[Name]
Date	[Date]

W/35169 and W/35170

NO LEFT HANDER
NO RIGHT HANDED



Tudalen 159



W/35169 and W/35170

Fudalen 160



W/35169 and W/35170



Tudalen 161

W/35169 and W/35170

Fudalalen 162



W/35161 and W/35162



Tudalen 163

W/35169 and W/35170

Fudalen 164



W/35169 and W/35170



Tudalen 165

W/35169 and W/35170

Fudalen 166



W/35169 and W/35170



Tudalen 167

W/35169 and W/35170

Fudalen 168



W/35169 and W/35170



Tudalen 169

W/35169 and W/35170

Fudalen 170

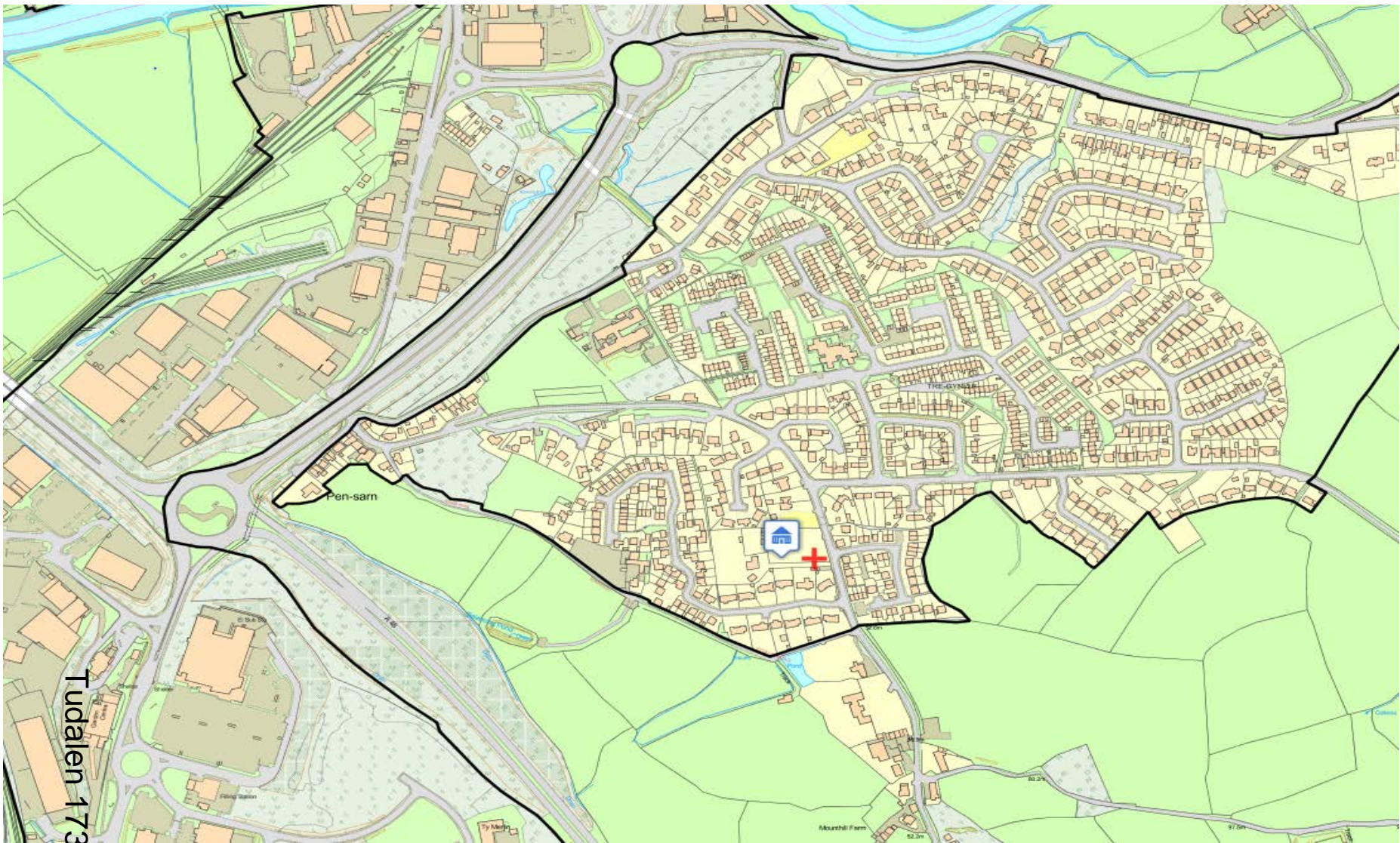


***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU GWRTHOD***

**APPLICATIONS RECOMMENDED
FOR REFUSAL**

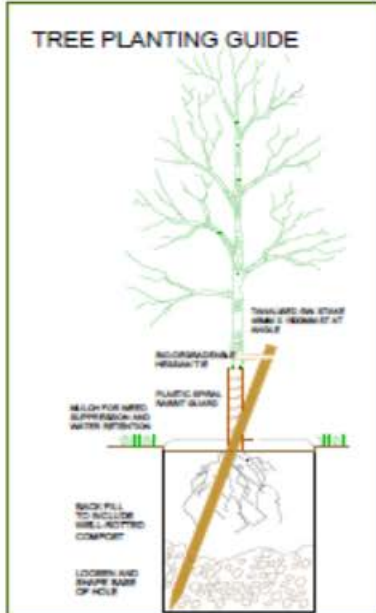
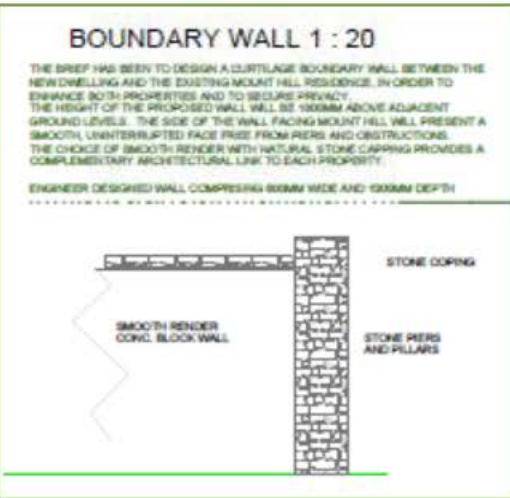
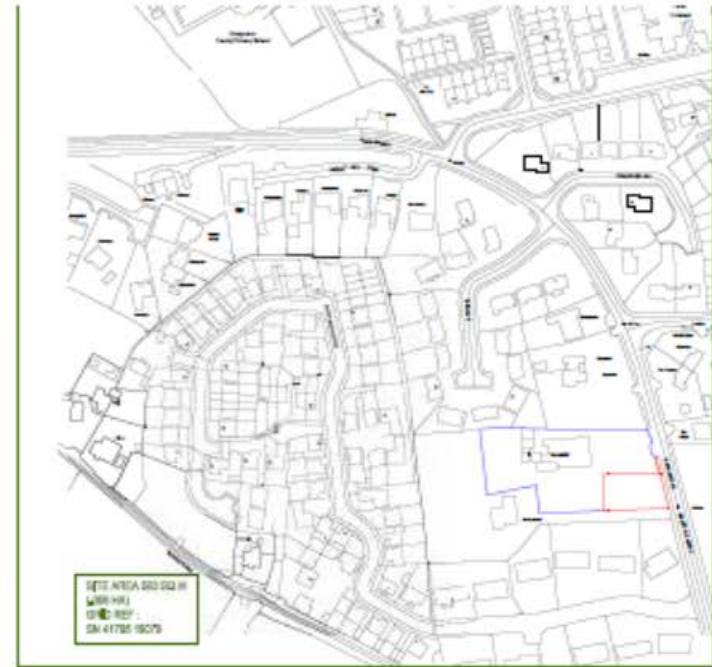
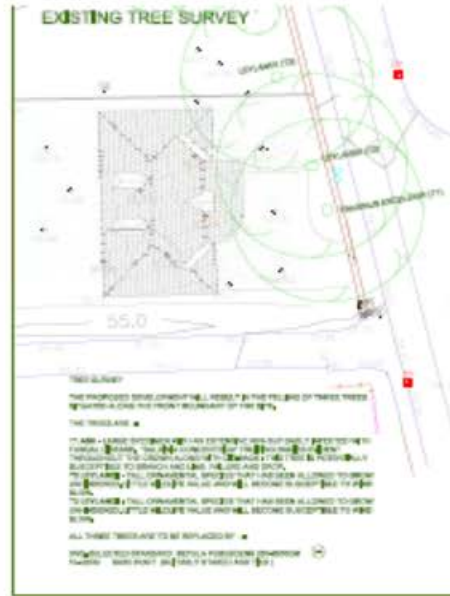
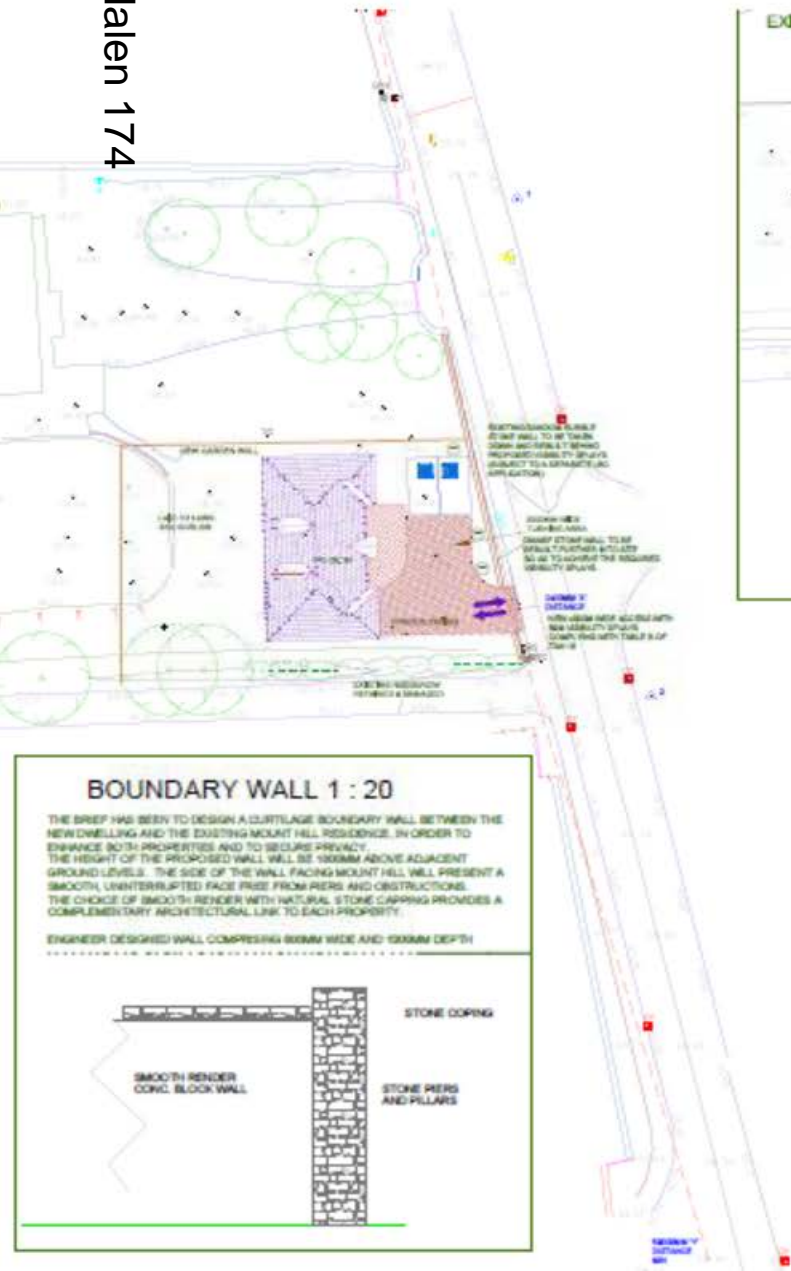
W/34901 and W/34931

W/34901 and W/34931



W/34901 and W/34931

Tudalen 174



PROPOSED DWELLING

LAND PART OF MOUNT HILL, LLANGUNNOR, CARMARTHEN, SA31 2JZ.

LOCATION, SITE LAYOUT AND TREE SURVEY

SCALE 1:200 1250 20 @ A1

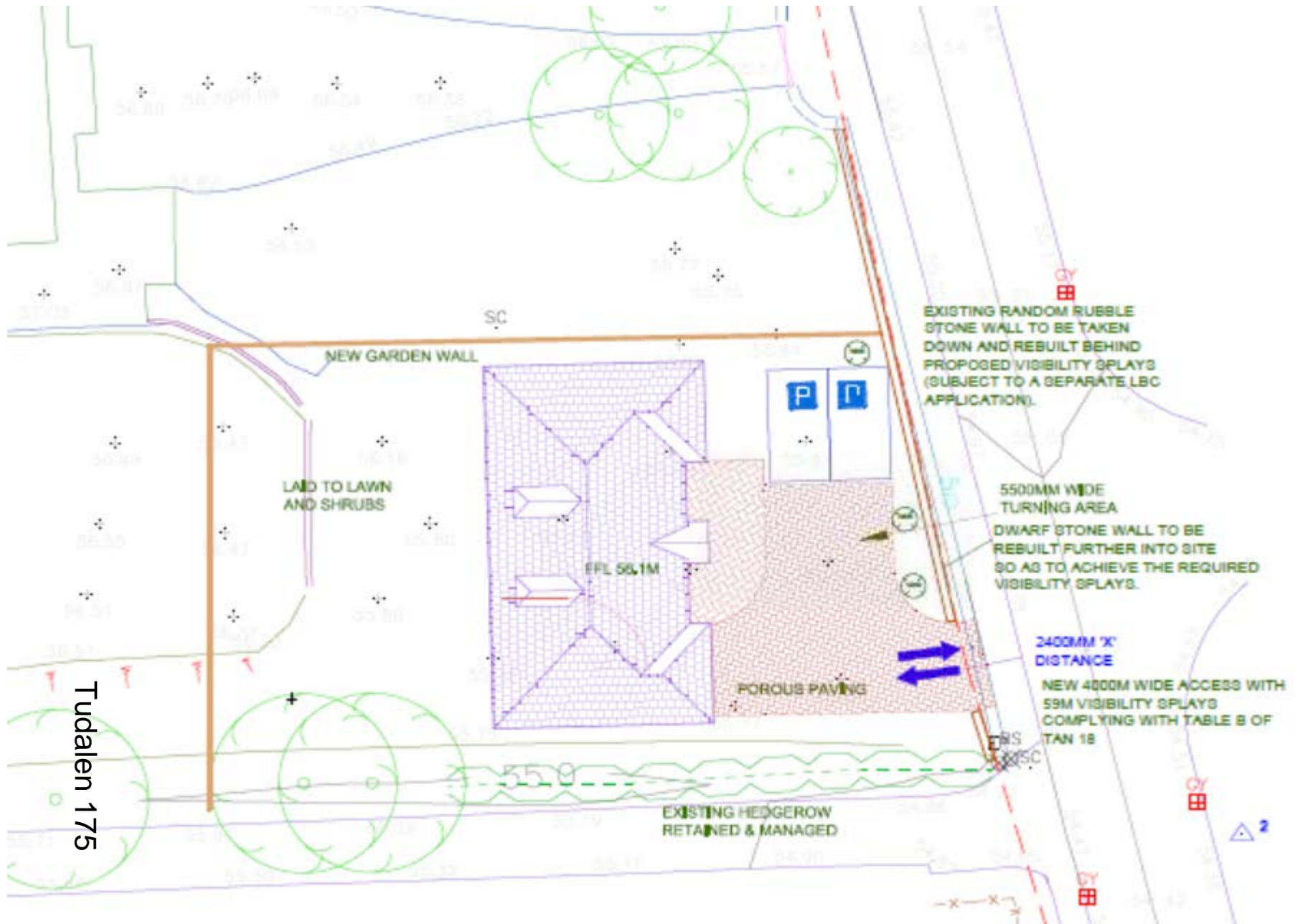
DRAWING: SUPPLEMENT 1

DATE: NOVEMBER 2018



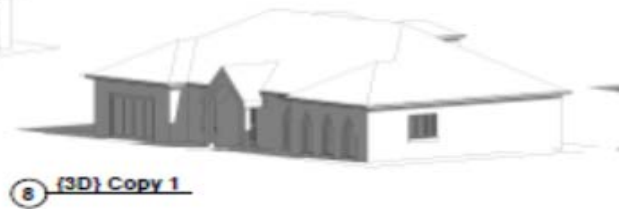
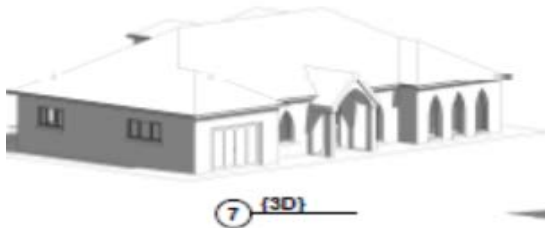
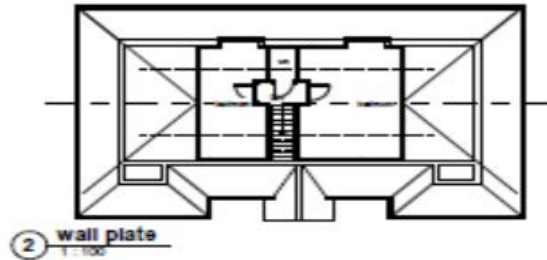
CHARITABLE TRUST PLANNING AND DEVELOPMENT CONSULTANTS
UNIT 1, LINDA WALKER BUSINESS CENTRE, 1001, PARK SQUARE,
CULVERHOPE, CARMARTHEN, SA31 3BB
01493 82111

W/34901 and W/34931



W/34901 and W/34931

Tudalen 176



W/34901 and W/34931



Tudalen 177

W/34901 and W/34931

Tudalen 178



W/34901 and W/34931



Tudalen 179

W/34901 and W/34931

Tuddalen 180



W/34901 and W/34931



Twmpathau
am 110 llath
Humps for
110 yards

W/34901 and W/34931

Tudalen 182



W/34901 and W/34931



Tudalen 183

W/34901 and W/34931

Tudalen, 184



W/34901 and W/34931



Tudalen 185

W/34901 and W/34931

Tudalen 186



W/34901 and W/34931



Tudalen 187

Mae'r dudalen hon yn wag yn fwriadol